



# Saltash Town Council

Meeting of The Planning & Licensing Committee

Tuesday 19<sup>th</sup> January 2021 at 6.30 p.m.

## **Town Councillors:**

### Saltash North:

S Gillies

J Peggs

W Phillips

B Samuels

### Saltash South:

M Fox – Vice Chairman

S Lennox-Boyd

S Martin

A Pinckney

### Saltash East:

R Bickford

Vacancy

J Rance

P Samuels

### Saltash West:

G Challen

J Dent - Chairman

S Miller

D Yates

# Agenda items 1 a-d

## **Announcements:**

To confirm that all present can hear the proceedings.

Roll call of Members, Public and Press present.

To confirm the meeting is quorate.

Meeting procedure.

# Agenda items

## 2-3

Recording of meetings – please notify the Chairman if you are intending to record this meeting.

Please note: All meetings are open to the public and could be filmed or recorded by broadcasters, the media, council members, the Council, or members of the public. Please be aware that whilst every effort is taken to ensure that members of the public are not filmed we cannot guarantee this especially if you are speaking or taking an active role.

Apologies

# Agenda items

## 4 a-c

### Declarations of Interest:

To receive any declarations from Members of any registerable (5A of the Code of Conduct) and/or non-registerable (5B) interests in matters to be considered at this meeting.

To receive any declarations from Members of Matters of Public Interest regarding matters to be considered at this meeting.

To consider dispensations required.

# Agenda item 5

## Questions

A 15 minute period when members of the public may ask questions of Members of the Council.

Please note: Questions must be submitted in writing to the Guildhall 24 hours before the meeting and that responses may be in writing at a later date.

## Agenda item 6

To note and receive the minutes from the Extraordinary Planning and Licensing Committee held on Monday 14<sup>th</sup> December 2020 and the Planning and Licensing Committee held on Tuesday 15<sup>th</sup> December 2020 as a true and correct record.

## Agenda item 7

To consider Risk Management reports as may be received.

## Agenda item 8 a-b

### Planning:

To note that Councillor Lennox-Boyd will vote upon the information before her at the meeting but in the light of subsequent information received at Cornwall Council, Councillor Lennox-Boyd may vote differently at that meeting.

To note that if Councillor Lennox-Boyd wishes to recommend opposite to the Town Council's view she will contact the Town Council by email. Considering time constraints, the Town Council will then hold an online poll of Councillors to determine whether to accept the Officer's view or to ask for the application to be called into committee. The results of these polls will be read into the record at the next Town Council meeting. Members of the public may request, via the Clerk, to be copied into any correspondence.



# Planning Applications

8c

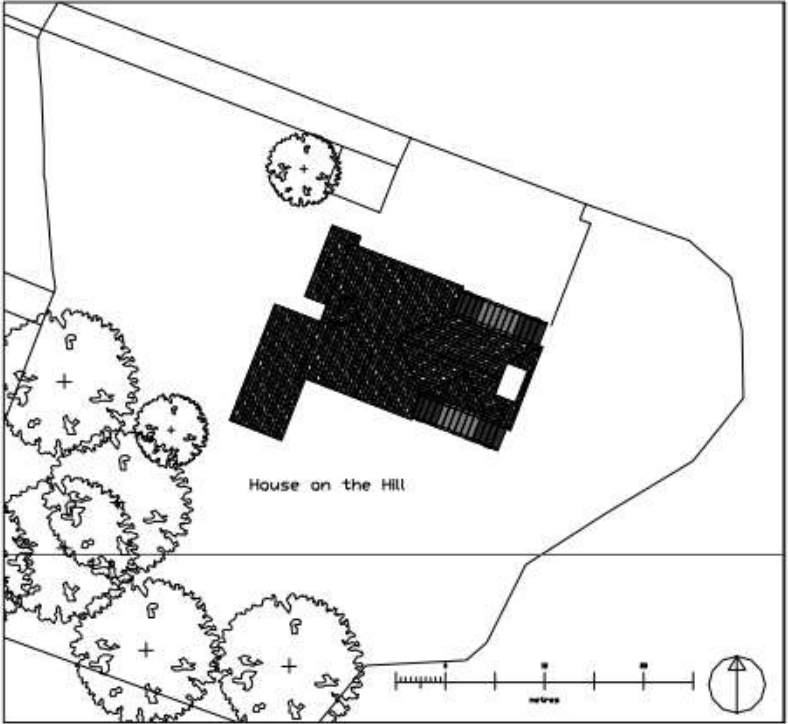
**PA20/10706 – House on The Hill, Lynher Drive  
Saltash.**

**Response Date: 22.01.21.**

PA20/10706  
Site Location  
& Block Plans

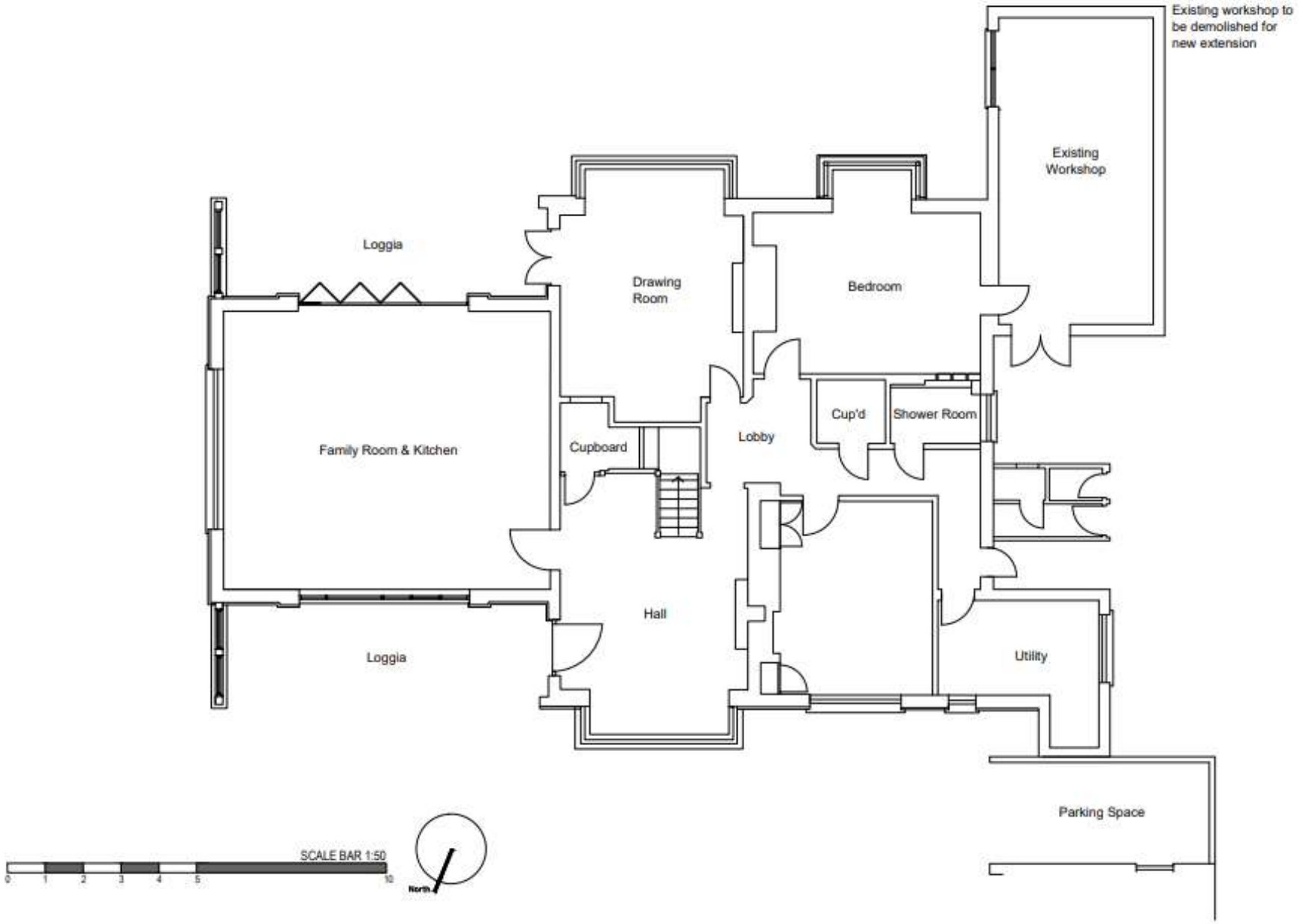


Site Location Plan - 1:1250 @ A3

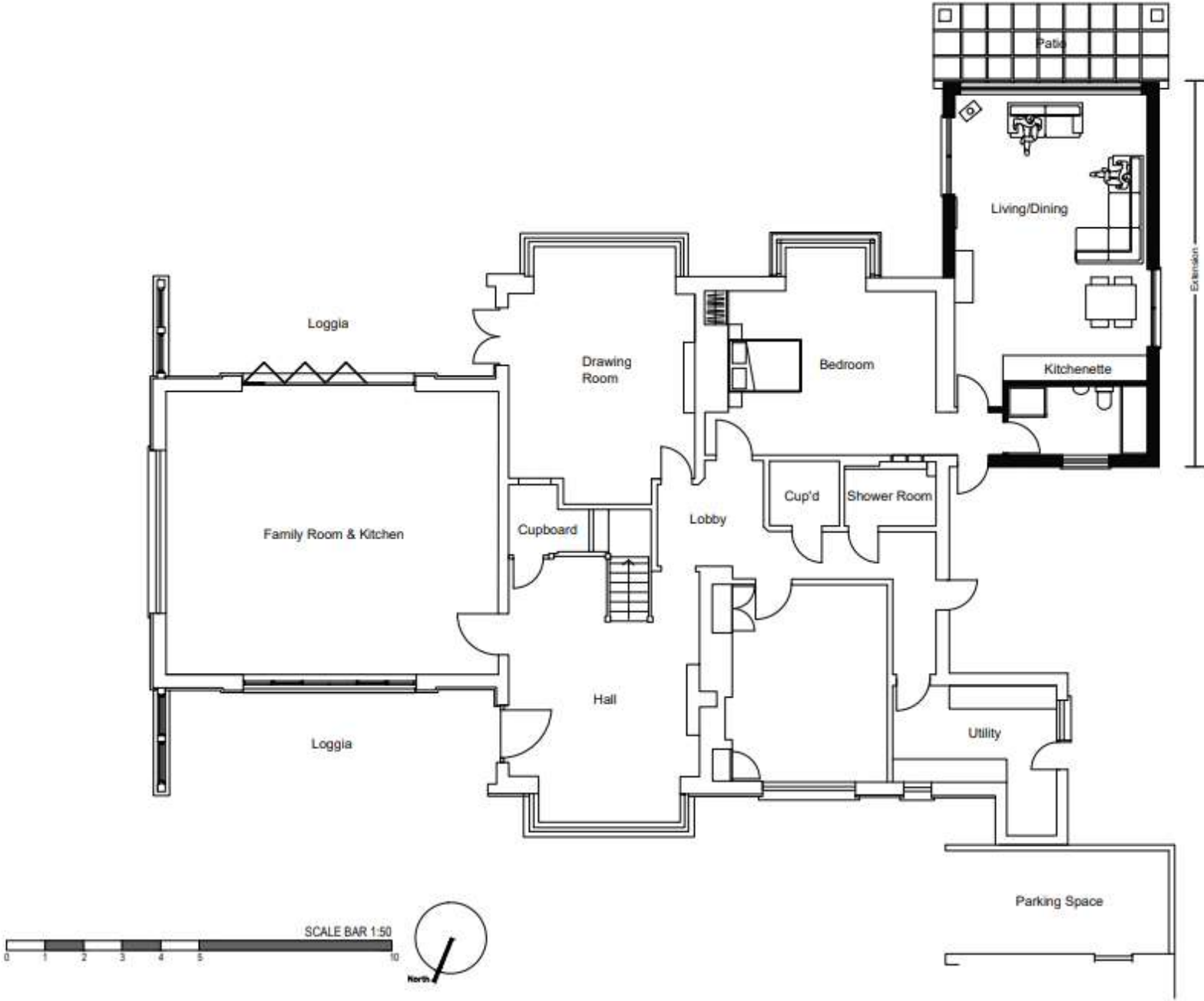


Site Block Plan - 1:500 @ A3

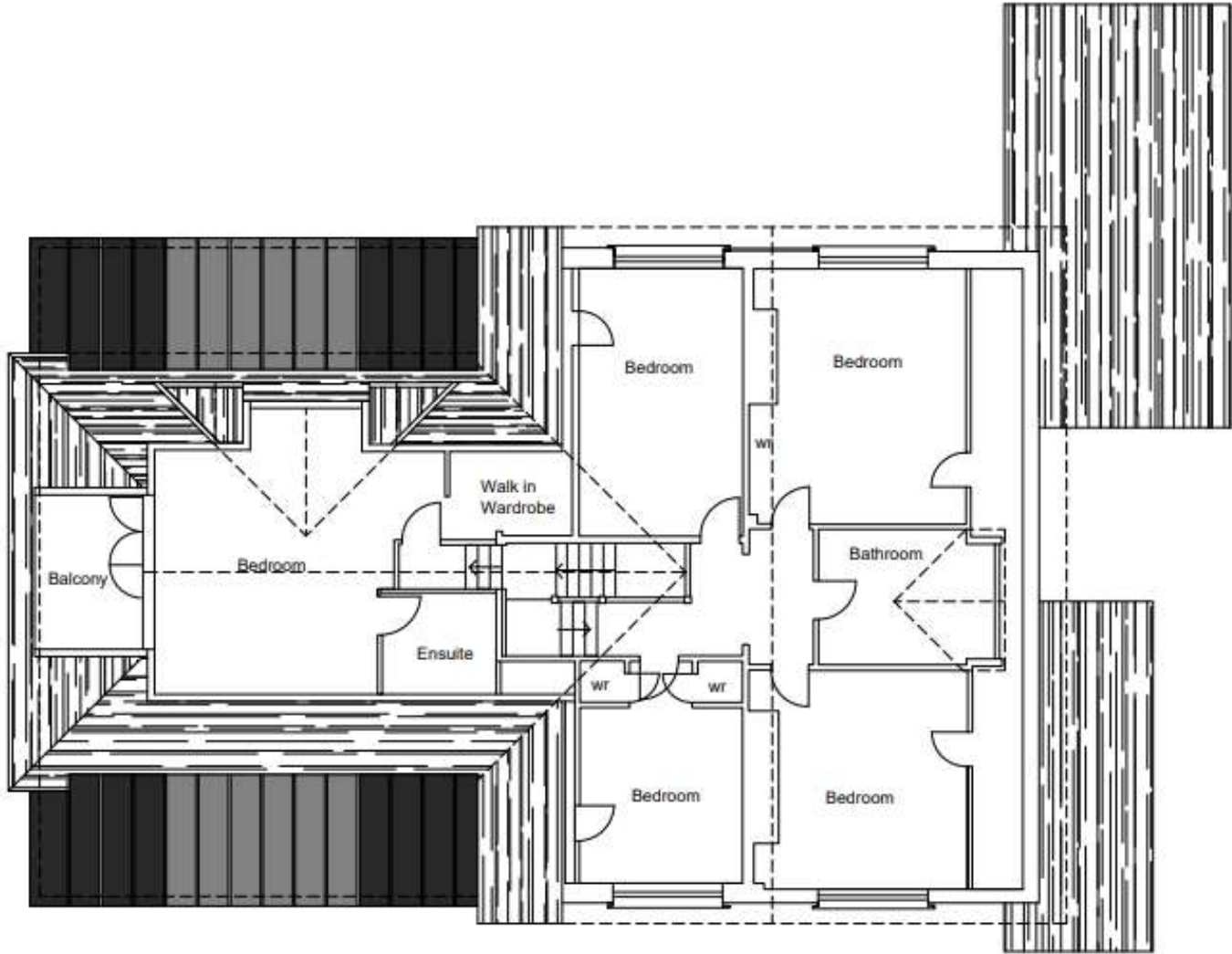
PA20/10706  
Existing Ground  
Floor Plan



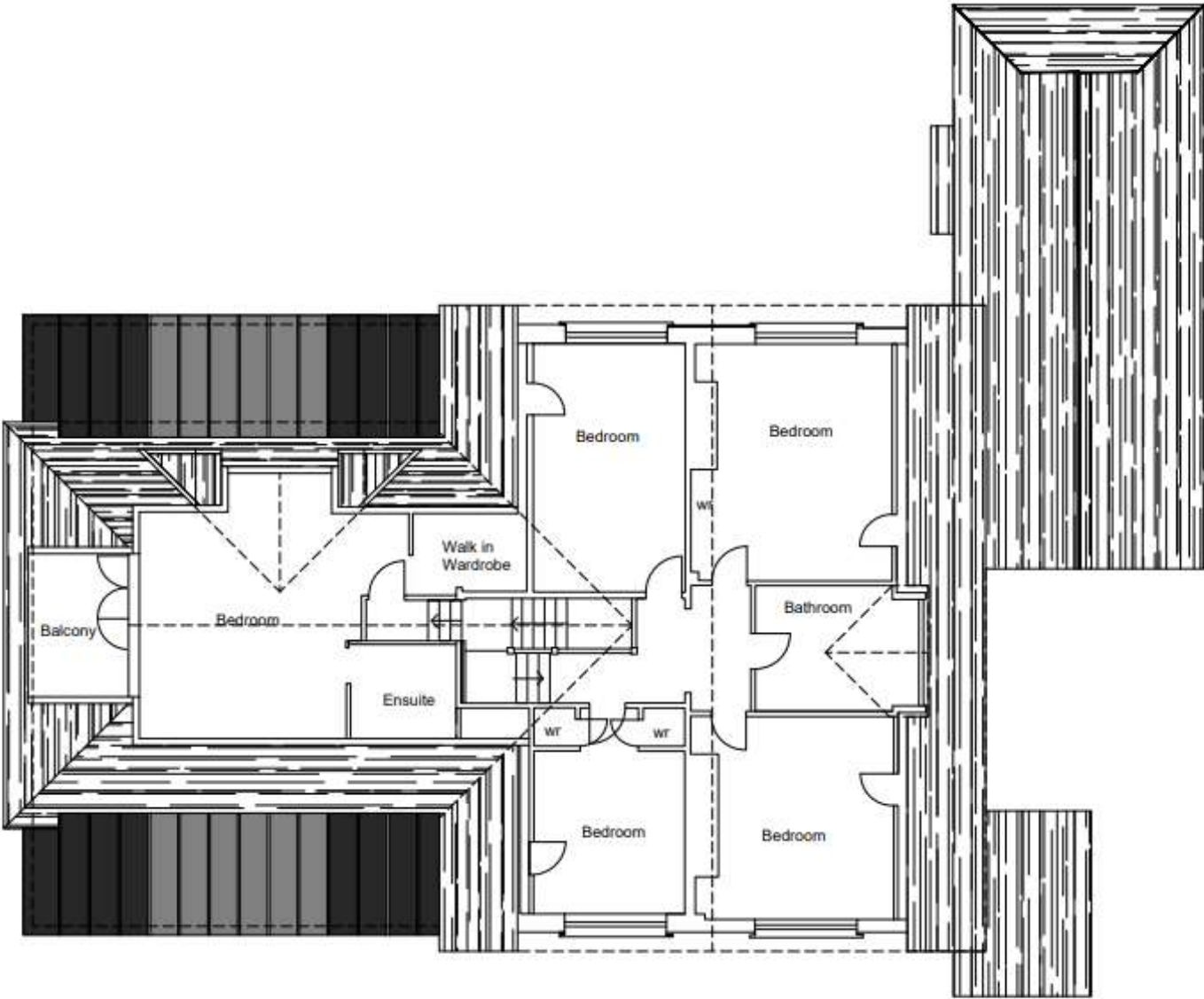
PA20/10706  
Proposed Ground  
Floor Plan  
Rev B



PA20/10706  
Existing First  
Floor Plan



PA20/10706  
Proposed First  
Floor Plan  
Rev B





PA20/10706  
Existing North &  
South Elevations  
Rev B

- 1 White Rendered Walls
- 2 Grey Aluminium Frame Windows
- 3 Grey Concrete Roof Tiles
- 4 Oak Beams between Columns
- 5 Oak Columns on Plinths
- 6 Covered Patio Area
- 7 Grey Aluminium Frame Patio Doors



PA20/10706

Proposed North & South Elevations

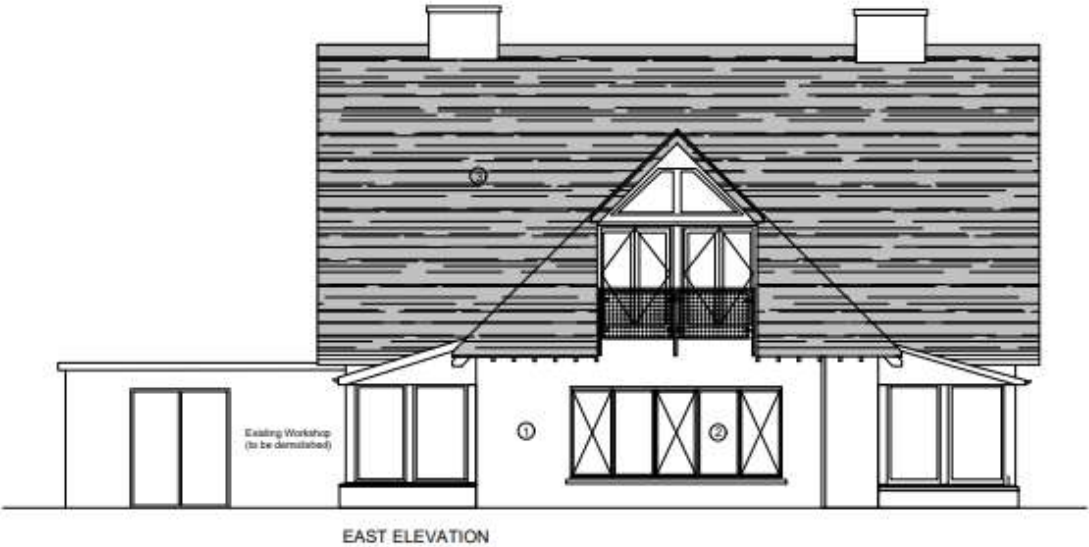
Rev B





PA20/10706  
Existing East &  
West Elevations  
Rev B

- 1 White Rendered Walls
- 2 Grey Aluminium Frame Windows
- 3 Grey Concrete Roof Tiles
- 4 Oak Beams between Columns
- 5 Oak Columns on Plinths
- 6 Covered Patio Area
- 7 Grey Aluminium Frame Patio Doors



PA20/10706  
Proposed East &  
West Elevations  
Rev B

- 1 White Rendered Walls
- 2 Grey Aluminium Frame Windows
- 3 Grey Concrete Roof Tiles
- 4 Oak Beams between Columns
- 5 Oak Columns on Plinths
- 6 Covered Patio Area
- 7 Grey Aluminium Frame Patio Doors



**Public Support 1 – Dated 04.01.21.**

- We have no reason to object if all the planning constraints are made.

**Public Support 2 – Dated 22.12.20.**

- I do not have any objections to this application as I do not feel it will have any detrimental impact on the surrounding properties.

# Planning Applications

8c

**PA20/10869 – Ince Castle, Ince Barton, Saltash.**

**Response Date: 22.01.21.**

**PA20/10869**

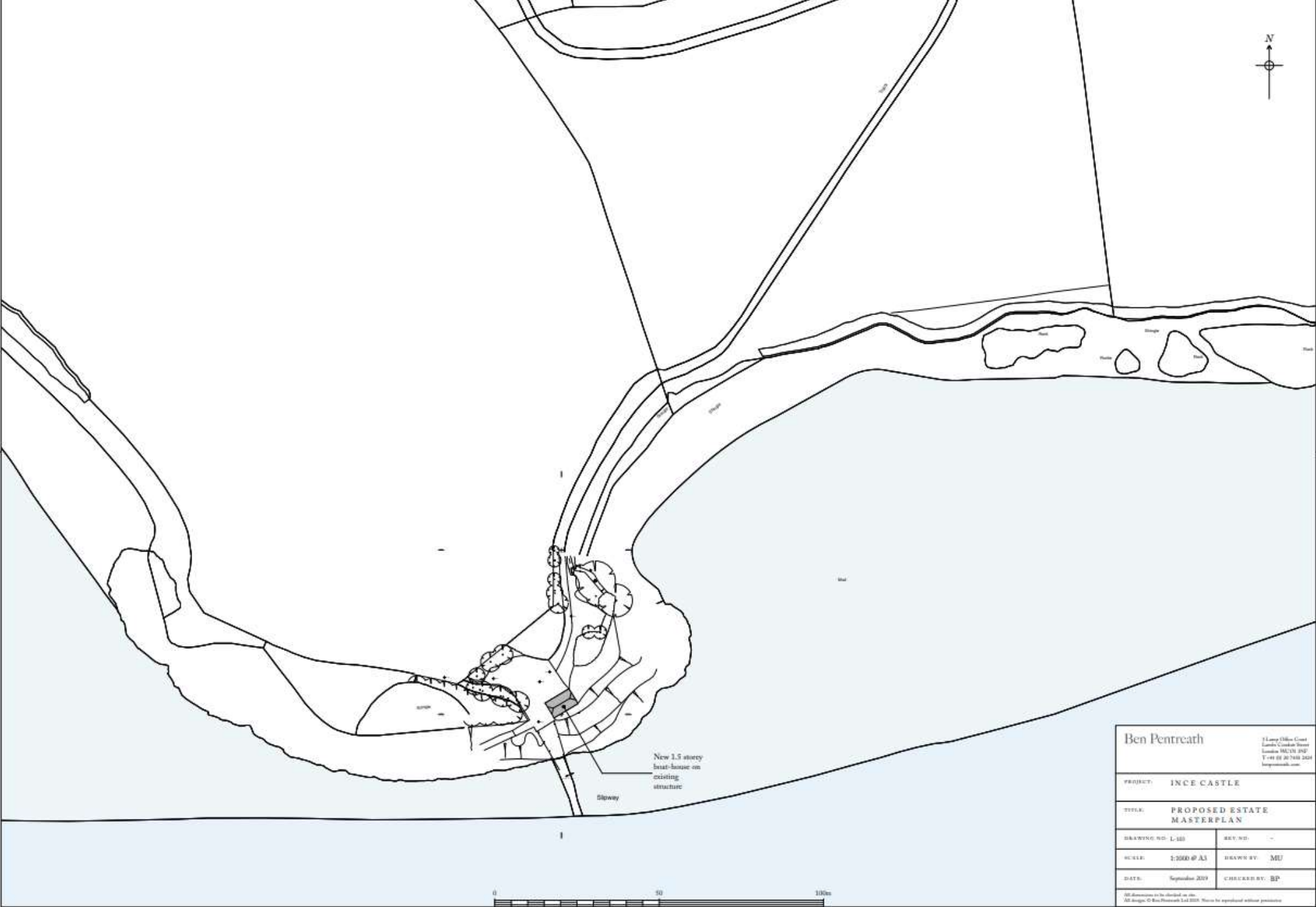
**Image taken from the  
Planning Statement**



The Boat House is accessed via a stoned private way leading from the Castle complex over agricultural pastureland farmed by the Estate.



PA20/10869  
Proposed  
Estate  
Masterplan -  
Block



Ben Pentreath		7 Long Walk Court London W14 9NS London W14 9NS T +44 (0) 20 7410 2424 ben@pentreath.com	
PROJECT:		INCE CASTLE	
TITLE:		PROPOSED ESTATE MASTERPLAN	
DRAWING NO:		L-101	REV. NO: -
SCALE:		1:2000 @ A3	DRAWN BY: MU
DATE:		September 2019	CHECKED BY: BP
01 dimensions to be checked on site. 02 design: © Ben Pentreath Ltd 2019. Plans to be reproduced without permission.			

# PA20/10869 Site Location



REVISION	DRAWING No.	01
	PROJECT NO.	LDC 1289
PROJECT	PROJECT	Bartholomew, Ince Castle, Llanabry, Cornwall
	DATE	December 2023
THE CLIENT	THE CLIENT	LD PC
	DATE	December 2023
THE CLIENT	THE CLIENT	LD PC
	DATE	December 2023

LD PC  
Land Development & Planning Consultants Ltd

All drawings are the property of LD PC. No part of this drawing may be reproduced without the written permission of LD PC. The drawings are the property of LD PC and are not to be used for any other purpose without the written permission of LD PC. The drawings are the property of LD PC and are not to be used for any other purpose without the written permission of LD PC.

PA20/10869

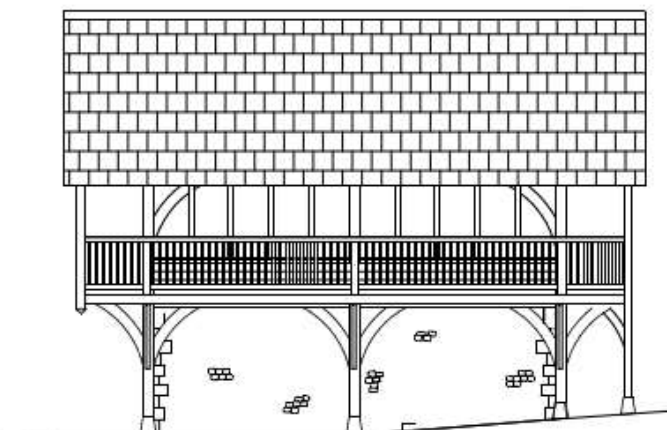
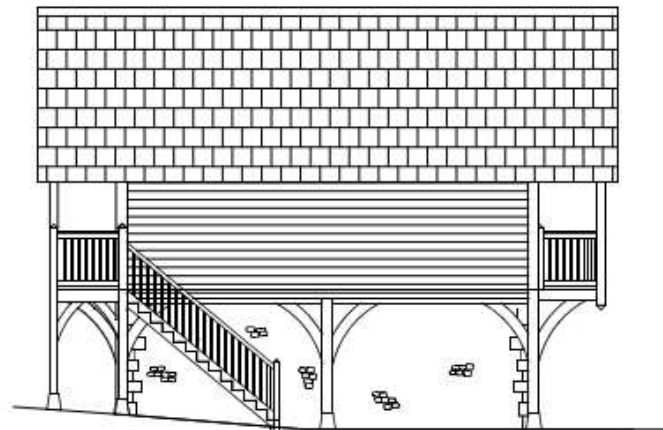
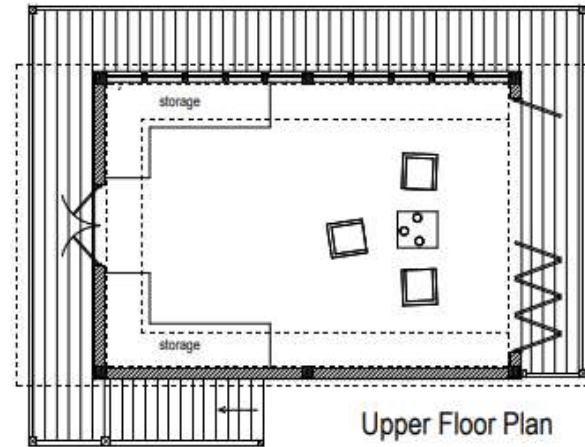
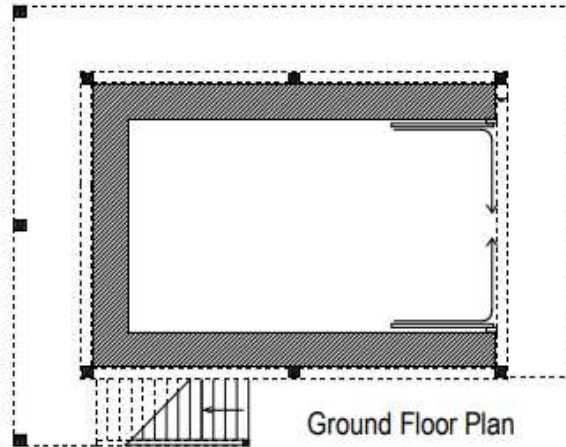
Image  
taken from Landscape  
& Visual Appraisal





**PA20/10869**  
**Proposed**  
**Mixed -**  
**Revised**

**Materials:**  
 Stonework (unaltered)  
 Upper Walls - Oak Feather Edged Boarding  
 Roof - Natural Slate  
 New Structure - Green Oak timber Frame



# Planning Applications

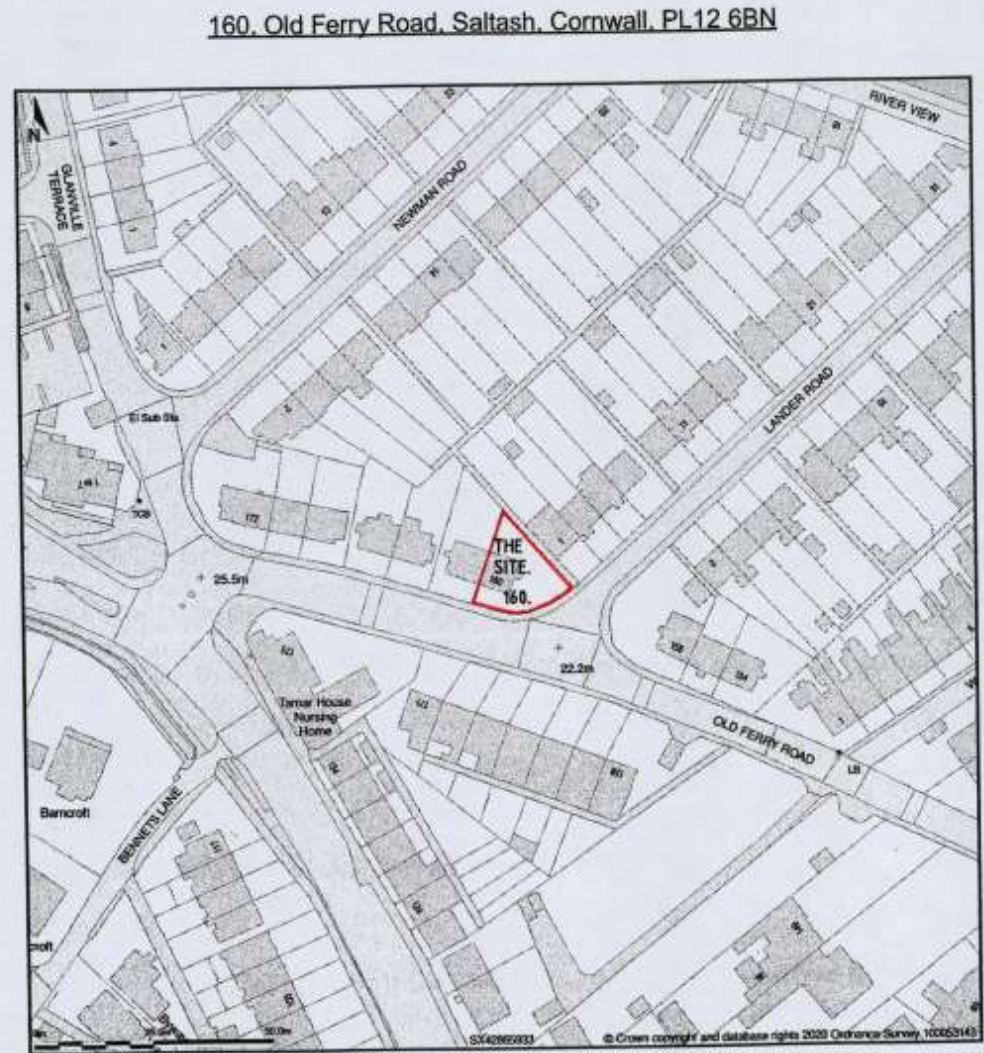
8c

**PA20/11021 – 160 Old Ferry Road, Saltash.**

**Response Date: 22.01.21.**

# PA20/11021

## Site Location Plan

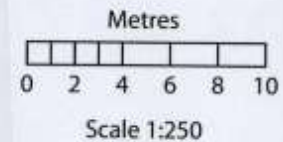


Site Plan shows area bounded by: 242760.14, 59230.08 242959.14, 59430.08 (at a scale of 1:1250), OSGridRef: SX42865933. The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

Produced on 4th Dec 2020 from the Ordnance Survey National Geographic Database and incorporating surveyed revision available at this date. Reproduction in whole or part is prohibited without the prior permission of Ordnance Survey. © Crown copyright 2020. Supplied by [www.buyaplan.co.uk](http://www.buyaplan.co.uk) a licensed Ordnance Survey partner (100053143). Unique plan reference: #00581297-38D6EB

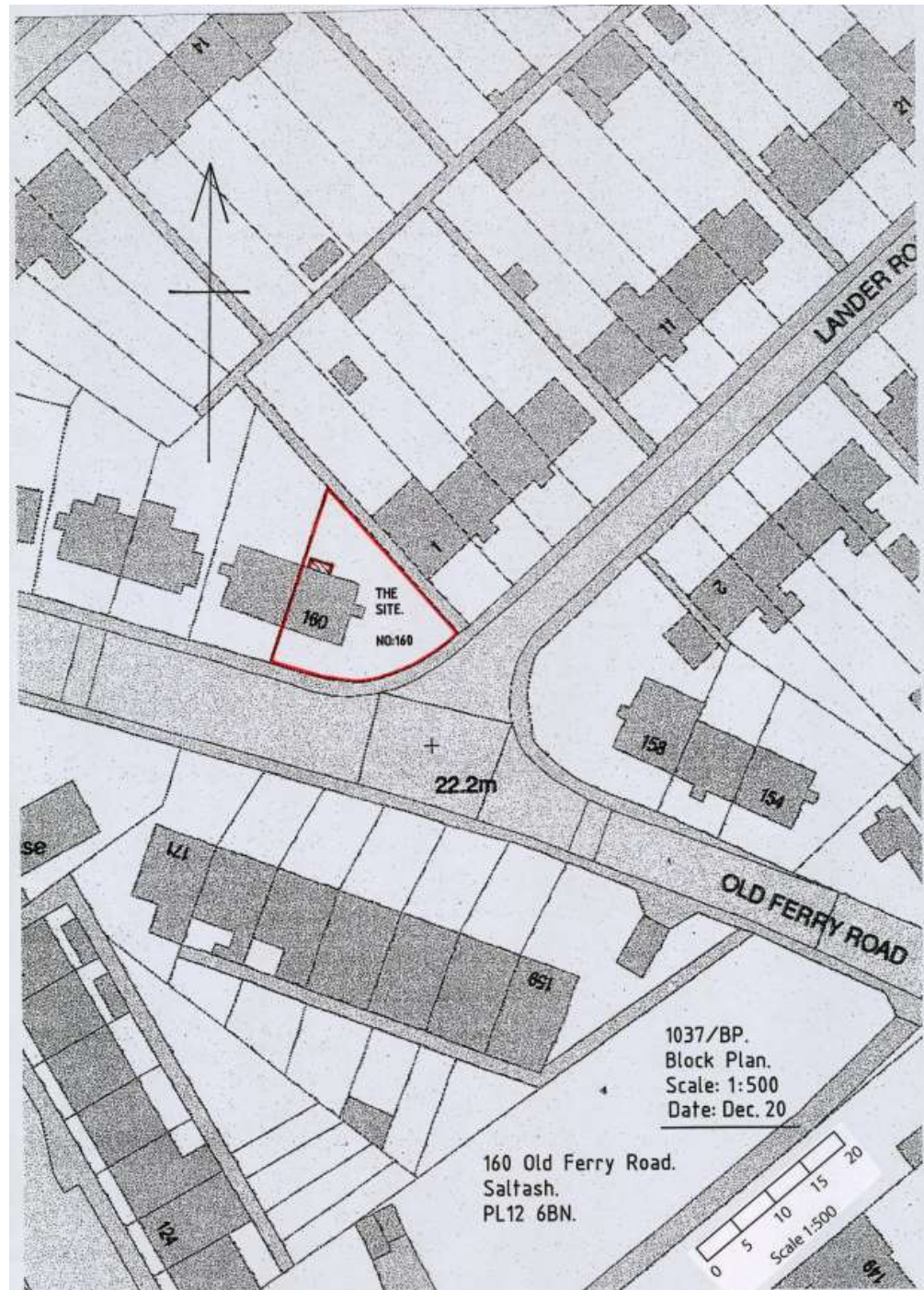
Ordnance Survey and the OS Symbol are registered trademarks of Ordnance Survey, the national mapping agency of Great Britain. Buy A Plan logo, pdf design and the [www.buyaplan.co.uk](http://www.buyaplan.co.uk) website are Copyright © Pease Inc Ltd 2020

1037/LP.  
Location Plan.  
Scale: 1:1250  
Date: Dec. 20



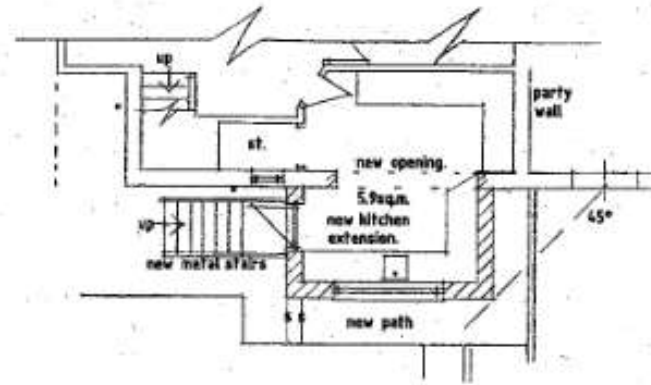


PA20/11021  
Site & Block

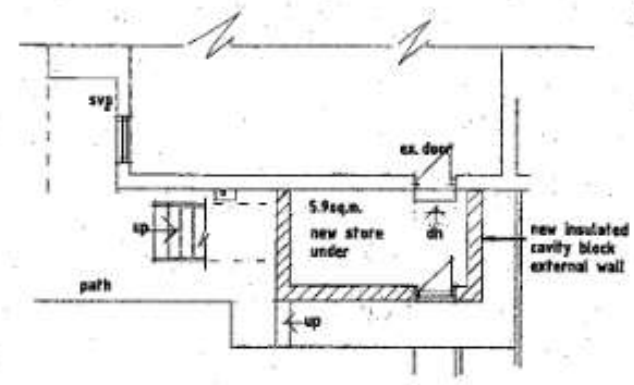


# PA20/11021

## Existing & Proposed Ground & Lower Ground Floor Plan



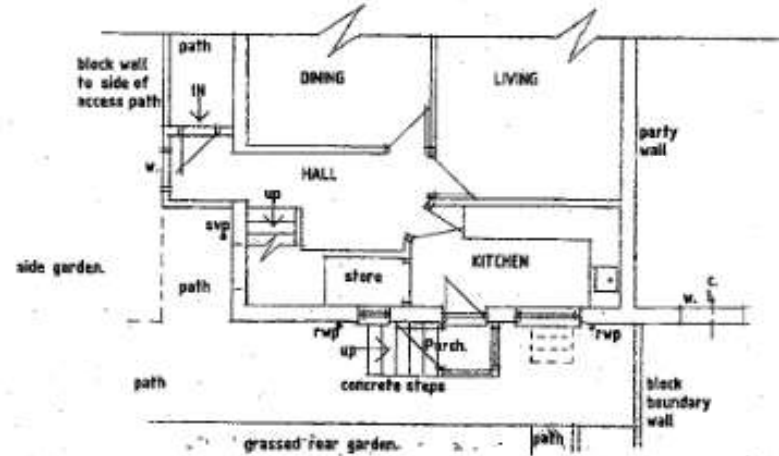
Proposed ground floor plan.



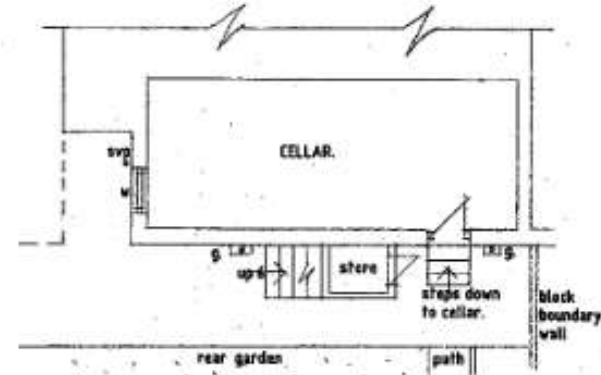
Proposed lower g.f. plan.

note: total floor area of new extension, 11.8sqm.

note: o/a size of new extension 3.9 x 2.1m.



Existing ground floor plan.  
Scale: 1:100



Existing lower g.f. plan.

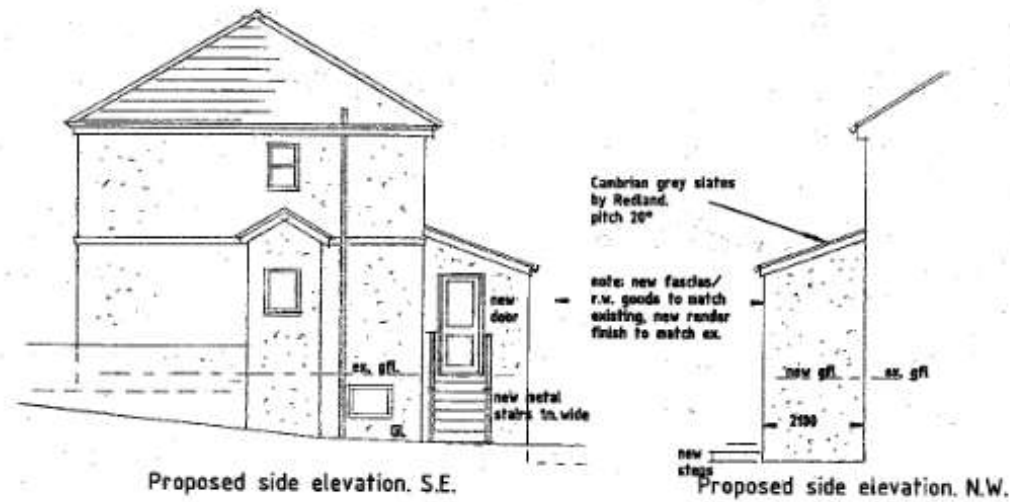
**SCALES**  
(all scale bars are in metres)



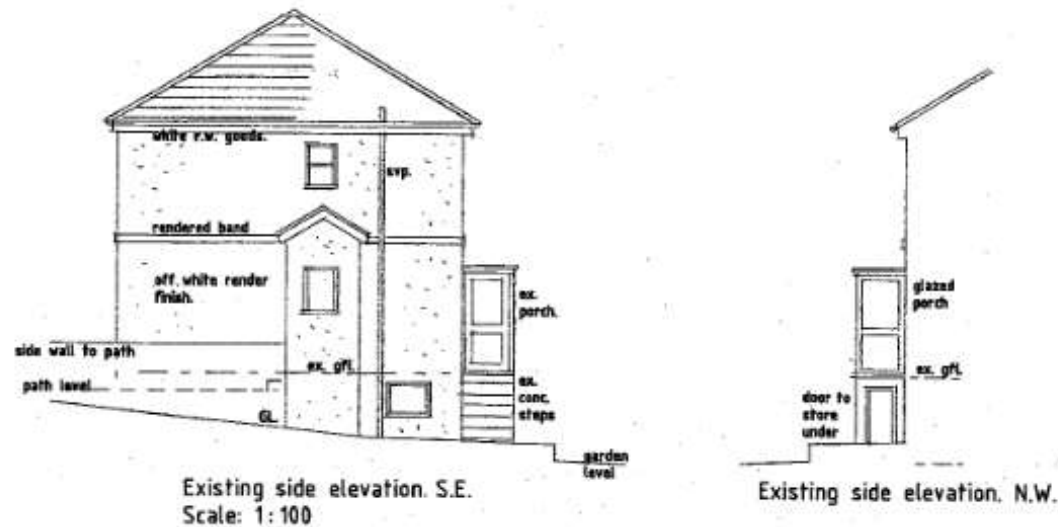
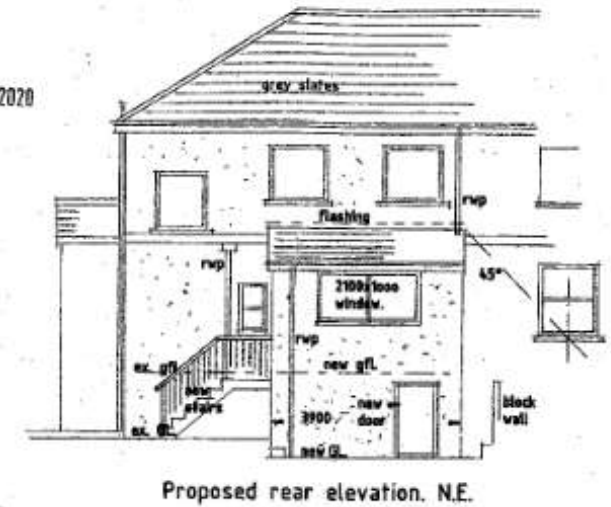
Proposed kitchen extension to rear of 160 Old Ferry Road, Saltash, PL12 6BN.	M. D. ASSOCIATES, Architectural Consultants, 93A, Fore Street, Saltash, Cornwall. 01579 366043.			
	Date: Dec. 20	Scale: 1:100		
	Drawn: [redacted]	Tel: 01752 840910		
	Part plans: ( existing ) proposed	1037/02		

# PA20/11021

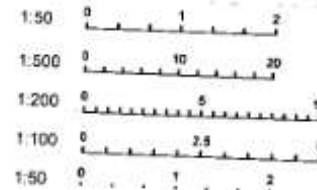
## Existing & Proposed SE, NW & NE Elevations



09 DEC 2020



**SCALES**  
(all scale bars are in metres)



Proposed kitchen extension to rear of 160 Old Ferry Road, Saltash, PL12 6BN.		M. D. ASSOCIATES. Architectural Consultants. 93A. Fore Street, Saltash, Cornwall. 01579 346043.	
Date: DEC 20	Scale: 1:100	PL12 6AE.	tel: 01752 840910
Elevations. ( existing proposed )		1037/03	

# Planning Applications

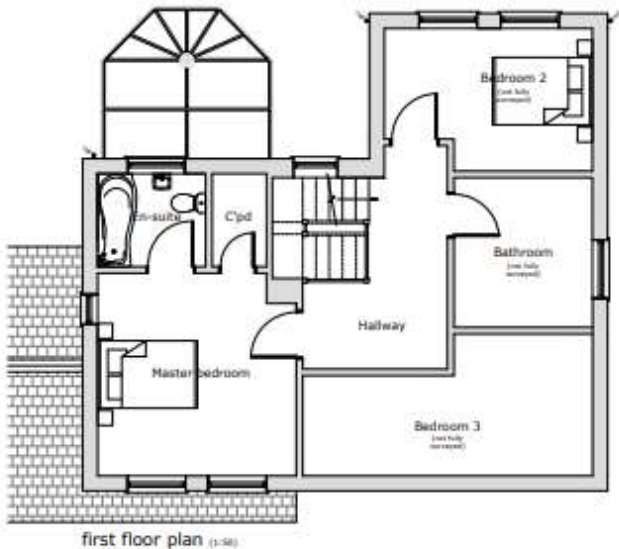
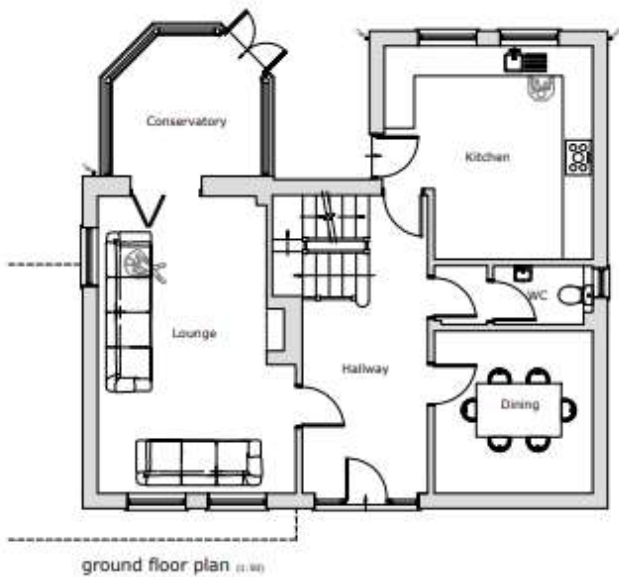
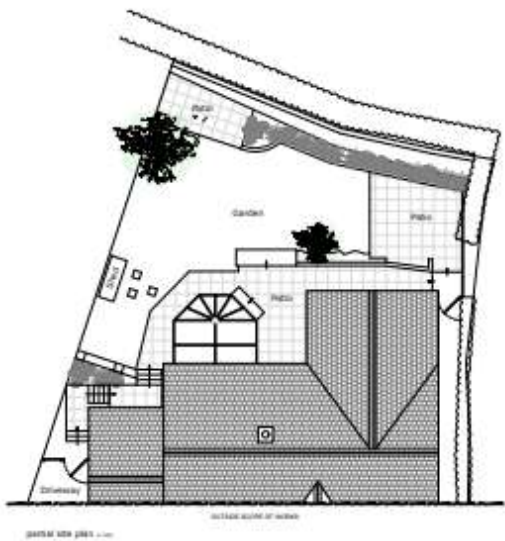
8c

**PA20/11118 – 6 The Brook, Saltash.**

**Response Date: 22.01.21.**



PA20/11118  
Location Plan,  
Site Plan,  
Existing Floor  
Plans &  
Elevations



**NOTES:**

This drawing is for planning purposes only.  
Use figured dimensions only, word measurements should be taken as a guide.

entrance survey plan (1:1000)  
location plan (1:1000)

block plan (1:1000)

PROJECT NUMBER: 11/12/18/001  
DATE: 11/12/18

**bw**

PROJECT STAGE

DESCRIPTION / OBSERVATION	DATE	BY
PLANNING PERMISSION	11/12/18	IT
REMOVED PERMITS	11/12/18	IT
REMOVED PERMITS	11/12/18	IT

PROJECT: REMOVAL OF CONSERVATORY  
SINGLE STOREY REAR EXTENSION

SITE ADDRESS:  
6 THE BROOK,  
SALTASH, PL12 8UL

CLIENT: MR & MRS PHILLIPS

DRAWING TITLE:  
EXISTING PLANS & ELEVATIONS

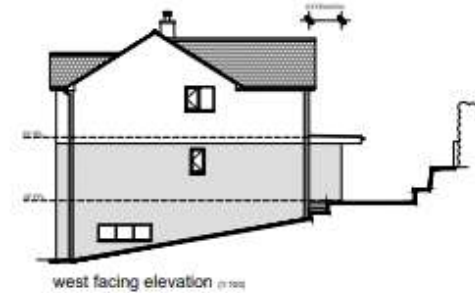
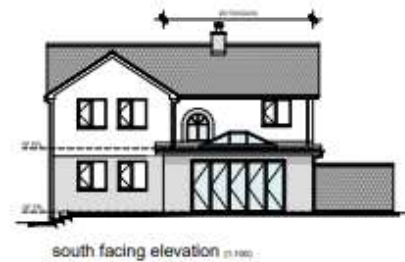
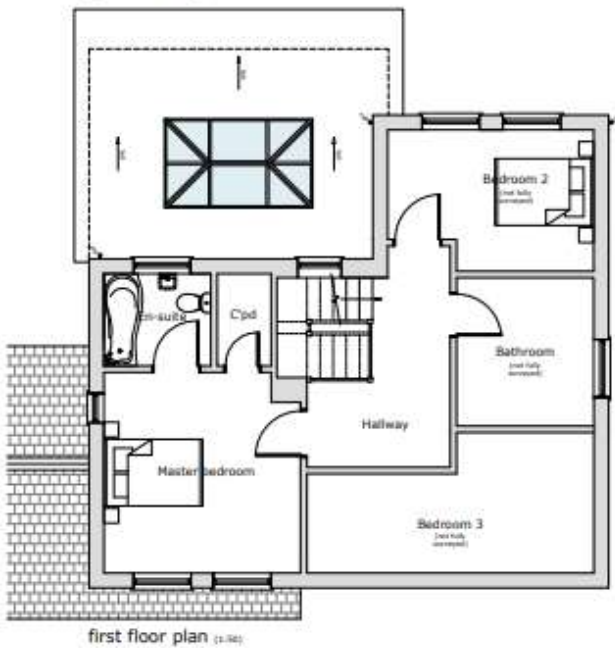
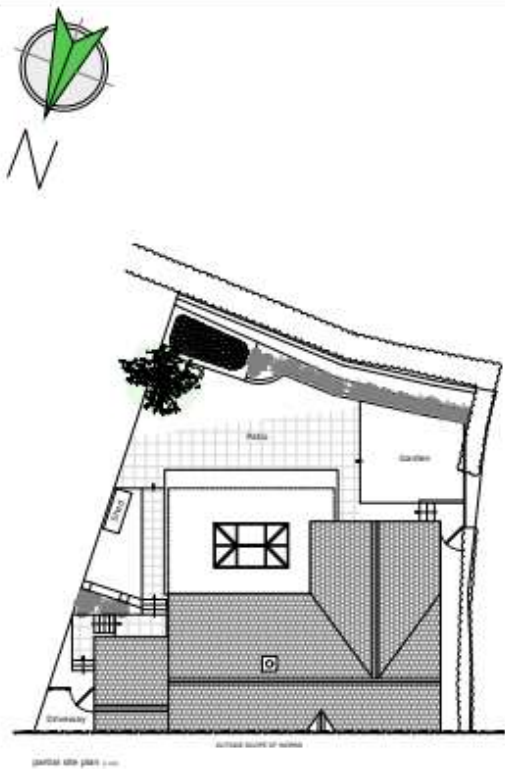
PLANNING PURPOSES ONLY

SCALE	DATE	BY	CHKD
1:50/100	DEC 20	IT	BW

JOB# - 10-01



PA20/11118  
Proposed Site  
& Floor Plans  
& Elevations



NOTES			
This drawing is for planning purposes only. Use figures dimensions only. exact measurements should be taken onsite.			
<b>FINISHES</b>			
WALLS : Bathrooms to match existing			
ROOF : GROUPEM flat roof			
DOORS/WINDOWS : Aluminium, double glazed units			
BATHROOM DOORS : White, UPVC to match existing			
SURFACE WATER DRAINAGE : To connect into existing system			
FLOOR DRAINAGE : To connect into existing system			
PROJECT NUMBER : 11-11-20-100			
PROJECT NAME			
PROJECT STAGE			
RECEPTION / OPTIMISATION	<input checked="" type="checkbox"/>	CONSTRUCTION	<input checked="" type="checkbox"/>
PLANNING PERMISSIONS	<input checked="" type="checkbox"/>	AS BUILT	<input checked="" type="checkbox"/>
BUILDING REGULATIONS	<input checked="" type="checkbox"/>	CONSTRUCTION / MAINTENANCE	<input checked="" type="checkbox"/>
PROJECT REMOVAL OF CONSERVATORY SINGLE STOREY REAR EXTENSION			
SITE ADDRESS			
6 THE BROOK, SALTASH, PL12 6UL			
CLIENT / APPLICANT			
MR & MRS PHILLIPS			
DRAWN FOR			
PROPOSED PLANS & ELEVATIONS			
DRAWING NUMBER			
JDBE - 15-01			
PLANNING PURPOSES ONLY			
SCALE	DATE	DRAWN	CHECKED
1 : 50/100	DEC 20	IT	BW
DRAWING NUMBER	DRAWN	DATE	BY
JDBE - 15-01	A1	-	-

# Planning Applications

8c

**PA20/11196 – 18 Dartmoor View, Saltash.**

**Response Date: 22.01.21.**

**PA20/11196**  
**Site Location Plan**



PA20/11196

Proposed

Site Plan



**Notes:**

**GENERAL NOTES**

This drawing has been prepared for the purpose of obtaining Planning / Building Regulation Approval only. All details are to be to the satisfaction of the Local Building Control Officer (LBCO) or Approved Inspector.

These drawings should not be acted upon until they have been approved by the Local Planning Authority and/or Building Control Authority as appropriate. Should the Client commence work without the necessary Local Authority approvals in place, they do so at their own risk.

This drawing is to be read in conjunction with any accompanying General Notes, Construction Notes and/or Building Regulations Compliance Notes prepared for the project.

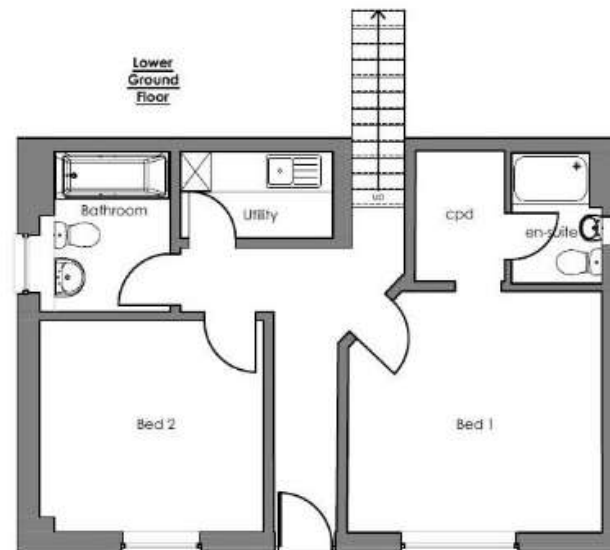
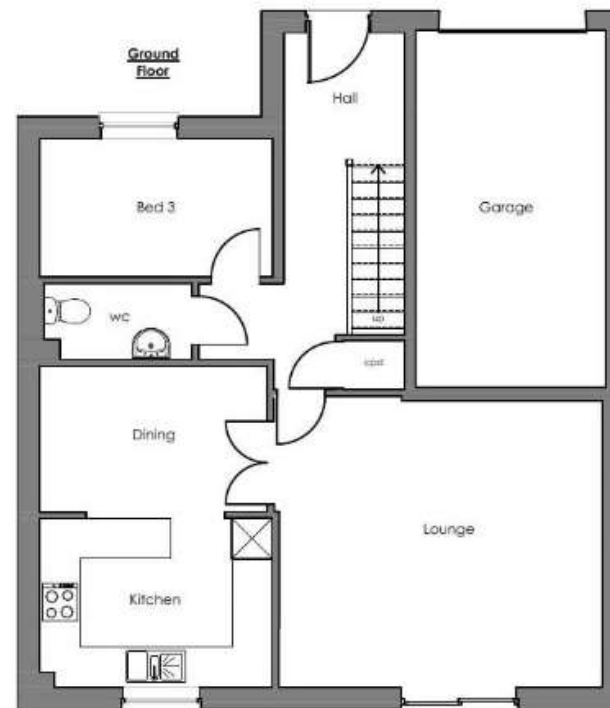
Do not scale from the drawings. All dimensions to be checked on the prior to ordering or erecting materials.

Any discrepancies to be reported to the Architect / Supervising Officer.



01 First Issue:	J		26/11/2020
Issue Description:	Drawn:	Check:	Date:
Client:			
Mr & Mrs Whitehouse 18 Dartmoor View Pillmere Saltash PL12 6WF			
Project:			
18 Dartmoor View - loft conversion			
Title:			
Proposed Site Plan			
<div><div>G3</div><div>DESIGN + ARCHITECTURE</div><div>www.g3designandarchitecture.co.uk</div></div>			
<div><div>G3 DESIGN + ARCHITECTURE</div><div>Unit 3 City Business Park, Somerset Place, Stoke,PLYMOUTH, PL3 4BB</div><div>email: info@g3designandarchitecture.co.uk</div></div>			
Scale:	Date:		
1:1250 @ A3	26/11/2020		
Job Number:	Drawing No:	Issue:	
275	06	01	

**PA20/11196**  
**Existing Floor Plans**

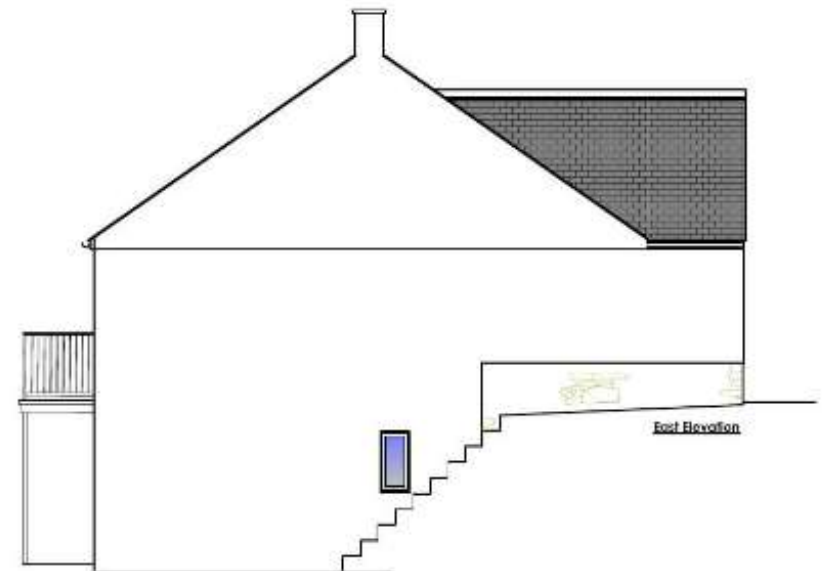
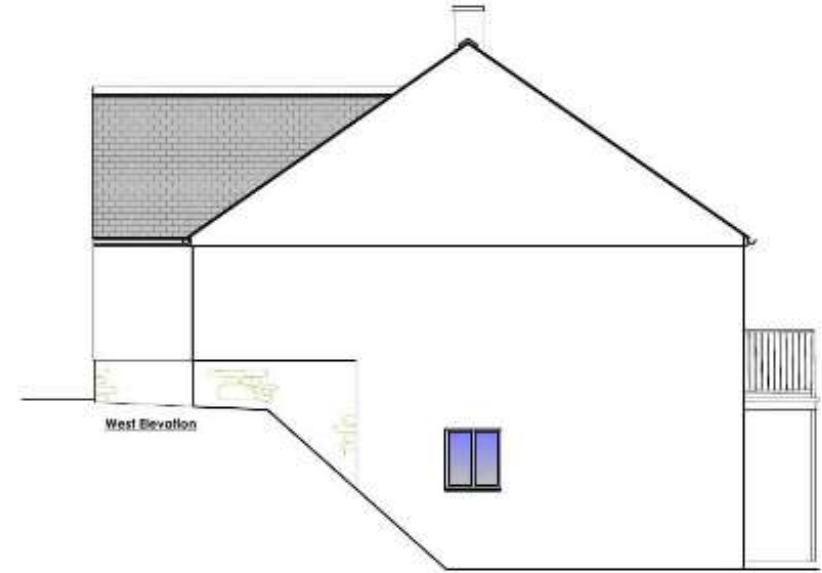


**PA20/11196**  
**Proposal Floor Plans**

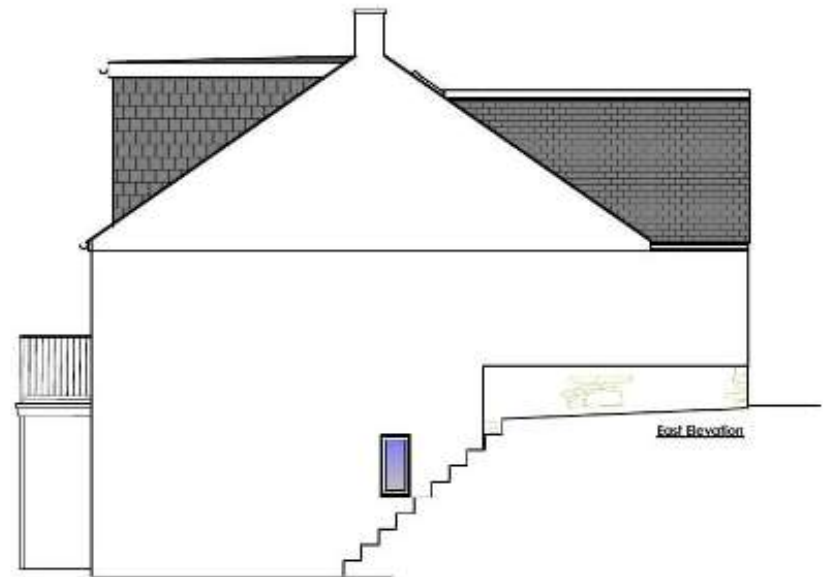
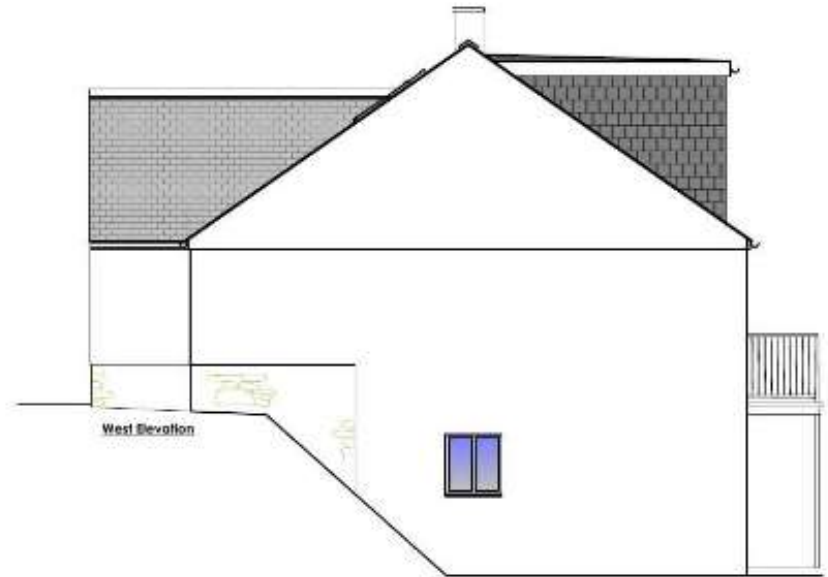




**PA20/11196**  
**Existing Elevations**



**PA20/11196**  
**Proposed**  
**Elevations**





# Planning Applications

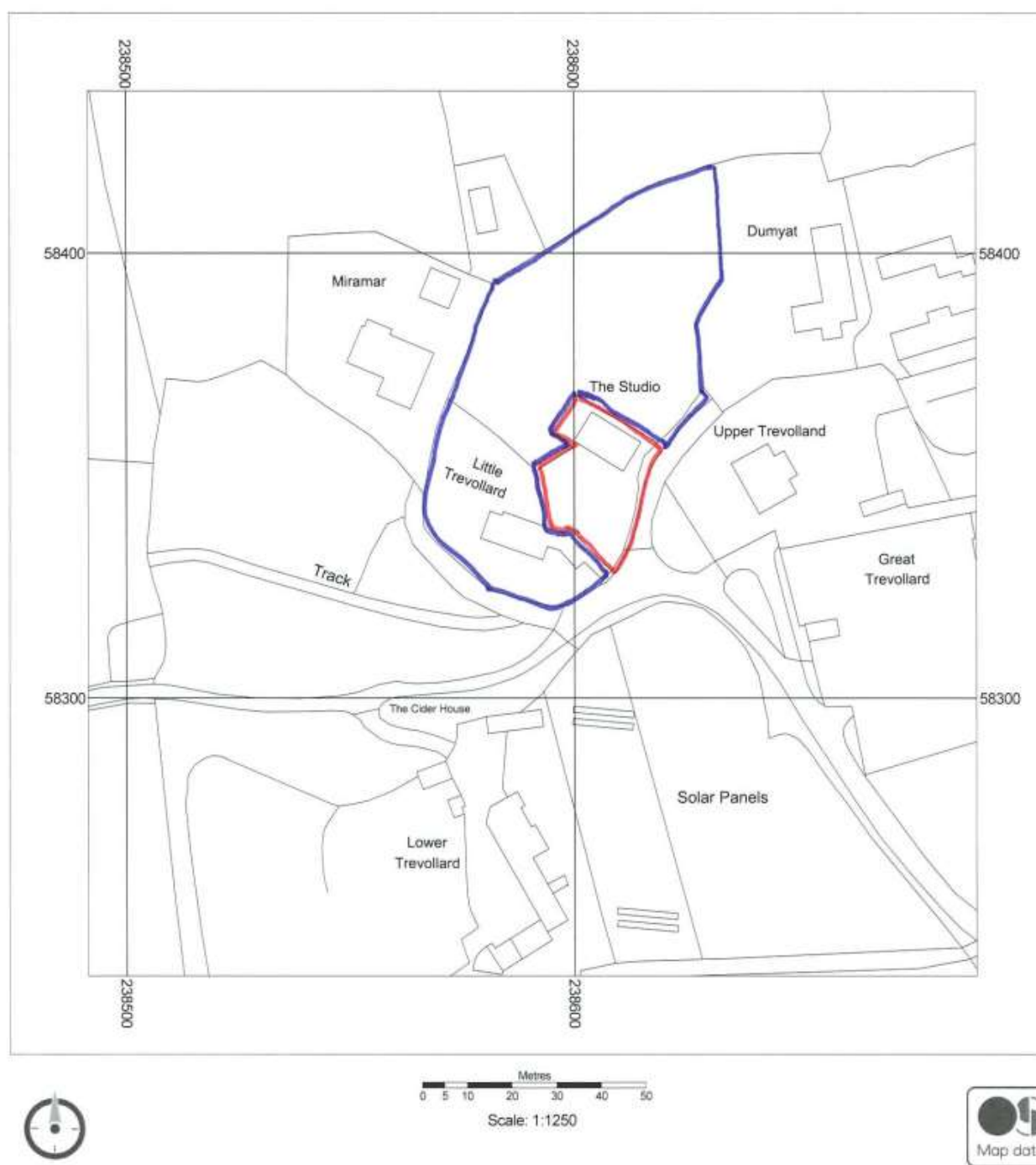
8c

**PA20/11218 – The Studio, Little Trevollard, Trevollard Lane, Trematon.**

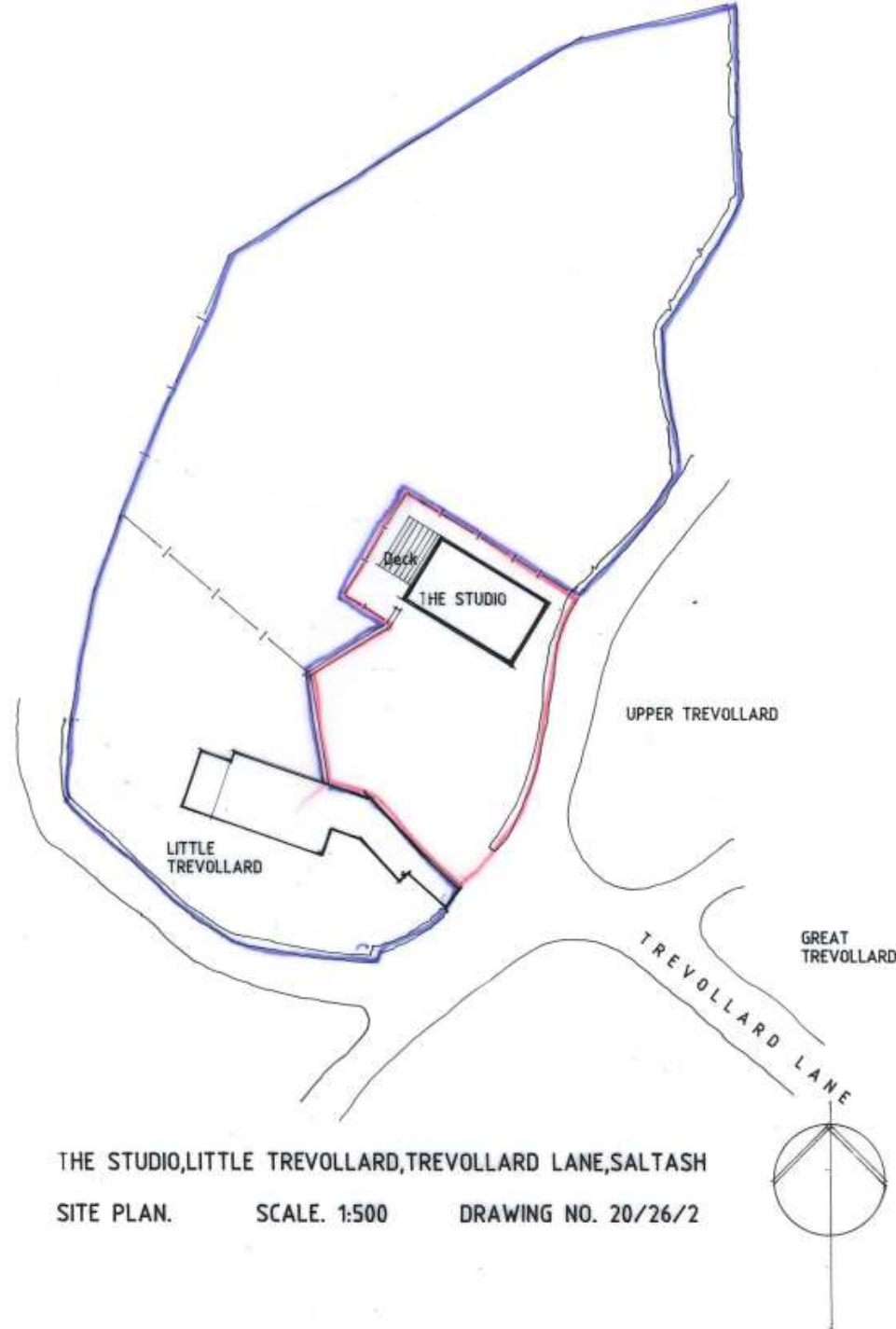
**Response Date: 22.01.21.**

# PA20/11218

## Site Location

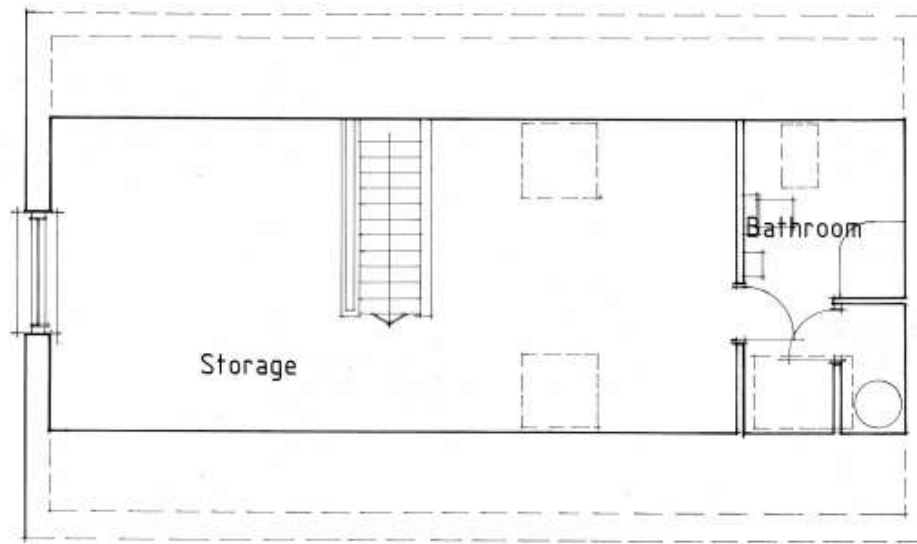


PA20/11218  
Site & Block

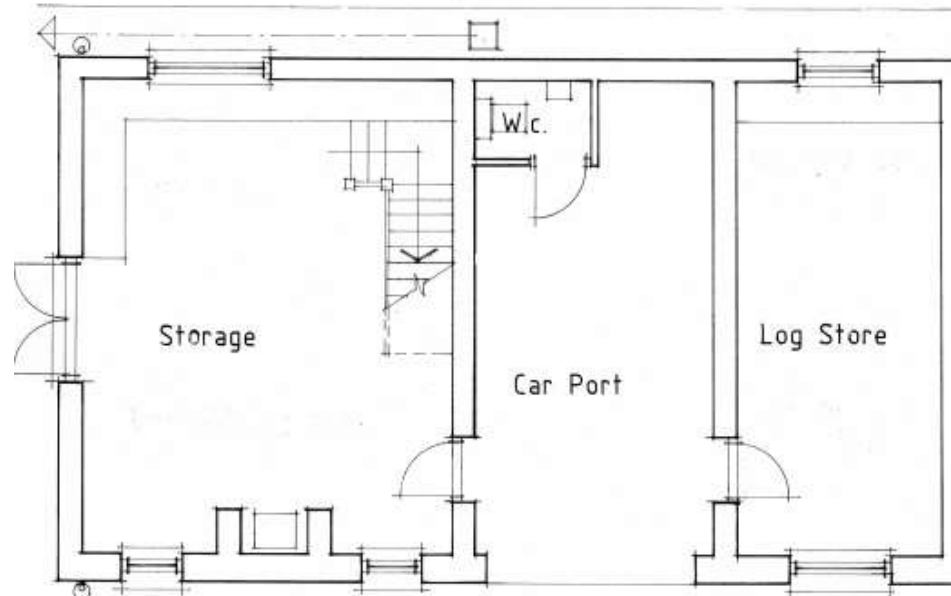


THE STUDIO, LITTLE TREVOLLARD, TREVOLLARD LANE, SALTASH  
SITE PLAN. SCALE. 1:500 DRAWING NO. 20/26/2

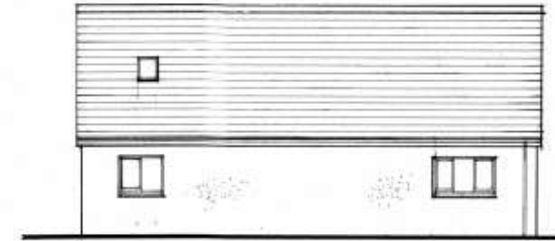
**PA20/11218**  
**Existing**  
**Mixed**



FIRST FLOOR PLAN



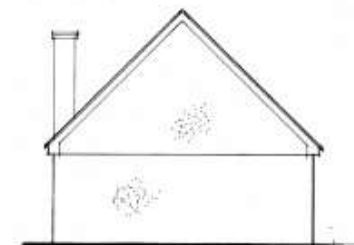
GROUND FLOOR PLAN



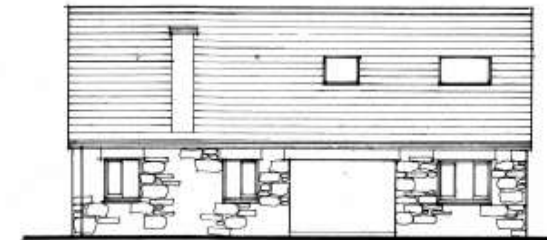
NORTH EAST ELEVATION



NORTH WEST ELEVATION



SOUTH EAST ELEVATION



SOUTH WEST ELEVATION

EXTERNAL FINISHES  
ROOF NATURAL SLATES  
WALLS NATURAL STONE AND PAINTED  
RENDER  
TIMBER WINDOWS AND DOORS

NO. 20/26/1

The Studio, Little  
Trevollard, Trevollard  
Lane, Saltash.

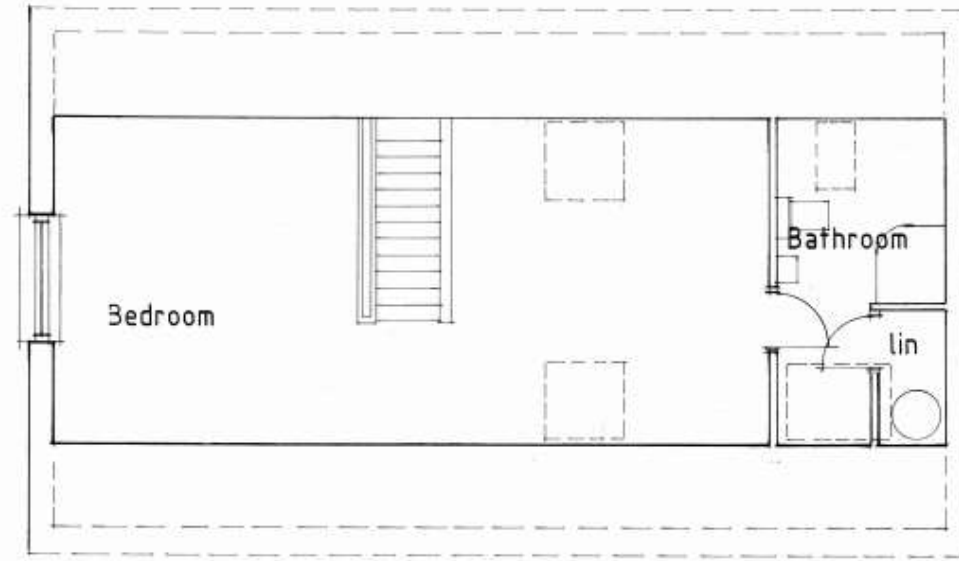
for  
Mrs. A. Greenaway

As Built Drawing

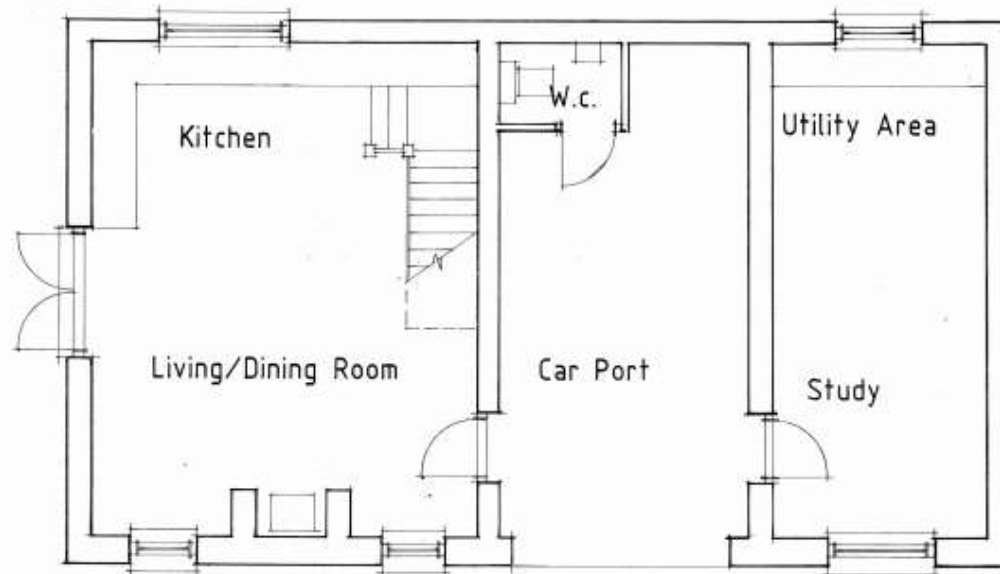
Scale. 1:50, 1:100

S.J. HARMON M.C.I.A.T.  
CHARTERED ARCHITECTURAL  
TECHNOLOGIST,  
13, RUSSELL CLOSE, SALTASH,  
CORNWALL PL12 4LZ  
Tel. 01752 848249

**PA20/11218**  
**Proposed Mixed**



FIRST FLOOR PLAN



GROUND FLOOR PLAN

THE STUDIO,LITTLE TREVOLLARD,TREVOLLARD LANE,SALTASH.

APPLICATION TO CHANGE CONDITION ATTACHED TO PLANNING APPLICATION  
09/1655/FUL RESTRICTING USE OF BUILDING TO STORAGE GARAGE TO RESIDENTIAL  
USE.

#### REASONS FOR THE APPLICATION.

The condition attached application 09/1655/FUL restricting the use of the building to storage and garage was 'to safeguard the amenities of the area'.

The approved proposal was for the construction of a two storey building,the first floor being in the roof space.The building has been constructed and completed in accordance with the drawings submitted with this application,and its use since completion has been compliant with the condition. The current building replaced an agricultural building constructed with breeze block walls with a corrugated iron roof.

The applicant has lived in the hamlet of Trevollard for 44 years and during that time there have been many changes to the original buildings to improve and upgrade them.



The amenities of the area are Trevollard Common/Green which used to be rough pastureland/quarry/dump for old cars and farm machinery, but is now maintained and mown by the residents, and the general benefit of the area being SSSI designation.

At Lower Trevollard, both North House, South House and the Cider House have been used as permanent rentals and South House also as a holiday let during the past 20 years.

The Studio has been in place for approximately 12 years, with no changes to the external appearance and no changes are intended.

The intended occupant will be the applicants daughter currently living at Tideford Cross [REDACTED]

The change to the planning condition requested will have no adverse impact on the amenities of the area. The building already exists and no extensions/alterations are planned. The building has no impact on surrounding properties and any additional vehicle movement will be minimal.

## **PA20/11218 - Public Comment**

### **Public Objection 1:**

- **Highway Issues: Vehicular access.**
- **Capacity of physical infrastructure: water systems.**

# Planning Applications

8c

**PA20/11351 – 32 Hobbs Crescent, Saltash, PL12 4JJ.**

**Response Date: 28.01.21.**

**PA20/11351**  
**Site Location Plan**

PA20/11351-4

Streetwise™



**SITE LOCATION PLAN**  
**AREA 2 HA**  
**SCALE 1:1250 on A4**  
**CENTRE COORDINATES: 241380, 59222**



**PA20/11351**  
**Site and Block Plan**

Streetwise

PA20/11351-3



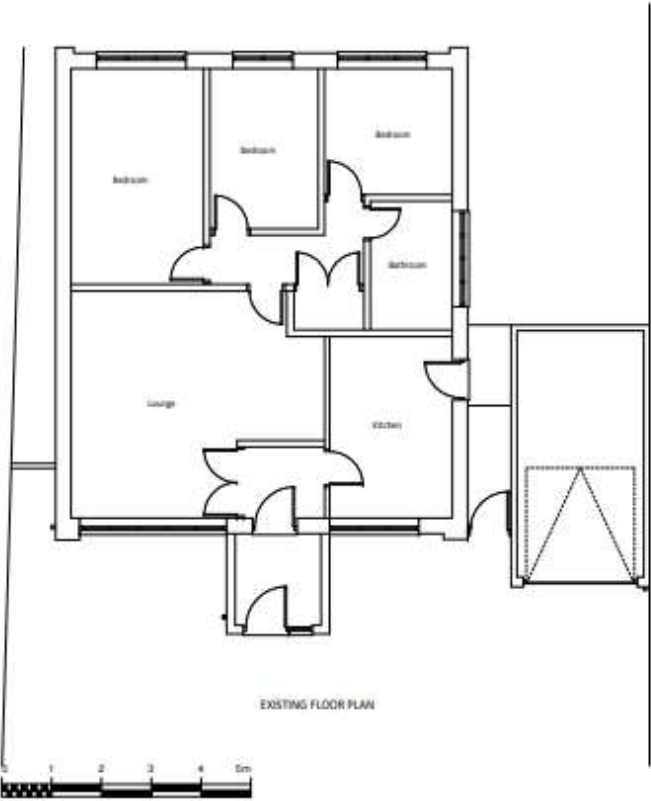
BLOCK/SITE PLAN  
AREA 90m x 90m  
SCALE 1:500 on A4  
CENTRE COORDINATES: 241380, 59222





PA20/11351

Existing Plans  
and Elevations



EXISTING REAR ELEVATION  
North-West



EXISTING FRONT ELEVATION  
South-East



North-east

EXISTING SIDE ELEVATIONS



South-West

PROPOSED FIRST FLOOR EXTENSION AT:  
No. 32 HORRIS CRESCENT SALTASH PL12 4JJ

DRAWN BY: MIKE LEGGETT BUILDING PLANS LTD.  
info@mikeleggett.co.uk

DATE: 3rd December 2020

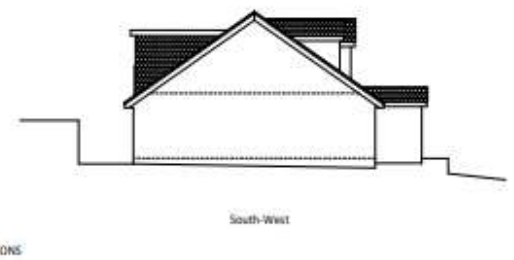
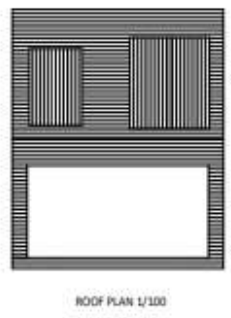
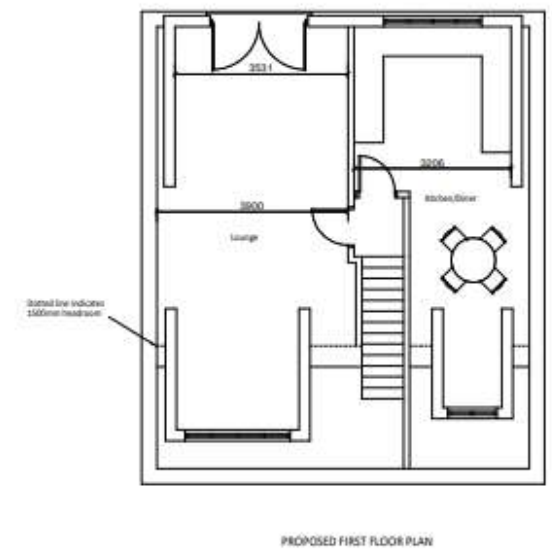
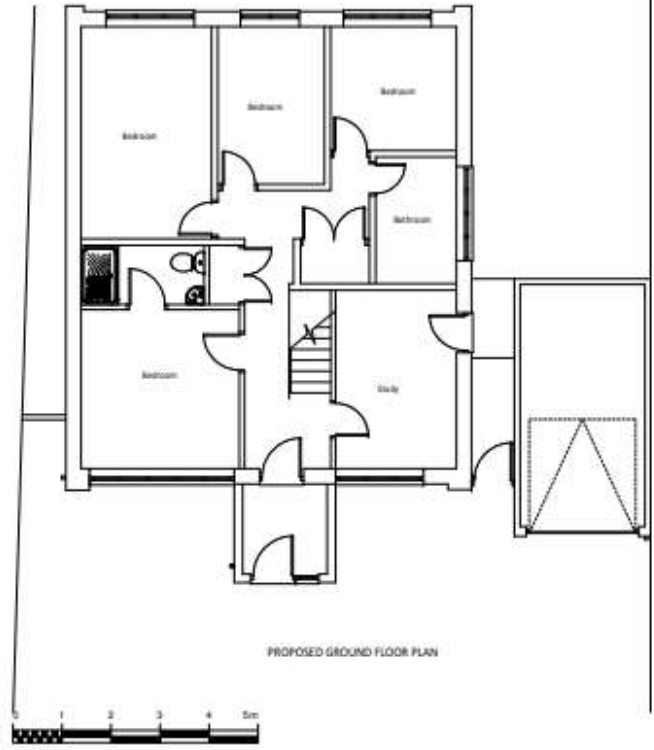
SCALE: 1:50 1:100

DWG 1 of 2

CLIENT: Mr & Mrs James



PA20/11351  
Proposed Plans  
and Elevation



PROPOSED FIRST FLOOR EXTENSION AT  
No. 30 HOBBS CRESCENT SALTASH PL12 4JL

DRAWN BY : MIKE LEGGETT BUILDING PLANS LTD  
info@millegettbuilt.co.uk

DATE : 3rd December 2020

SCALE : 1:50 1/100

DWG 2 of 2

CLIENT : Mr & Mrs James

# Planning Applications

8c

**PA20/11481 – 33 North Road, Saltash, PL12 6BD.**

**Response Date: 29.01.21.**

**PA20/11481**  
**Site Location**

PA20/11481-1



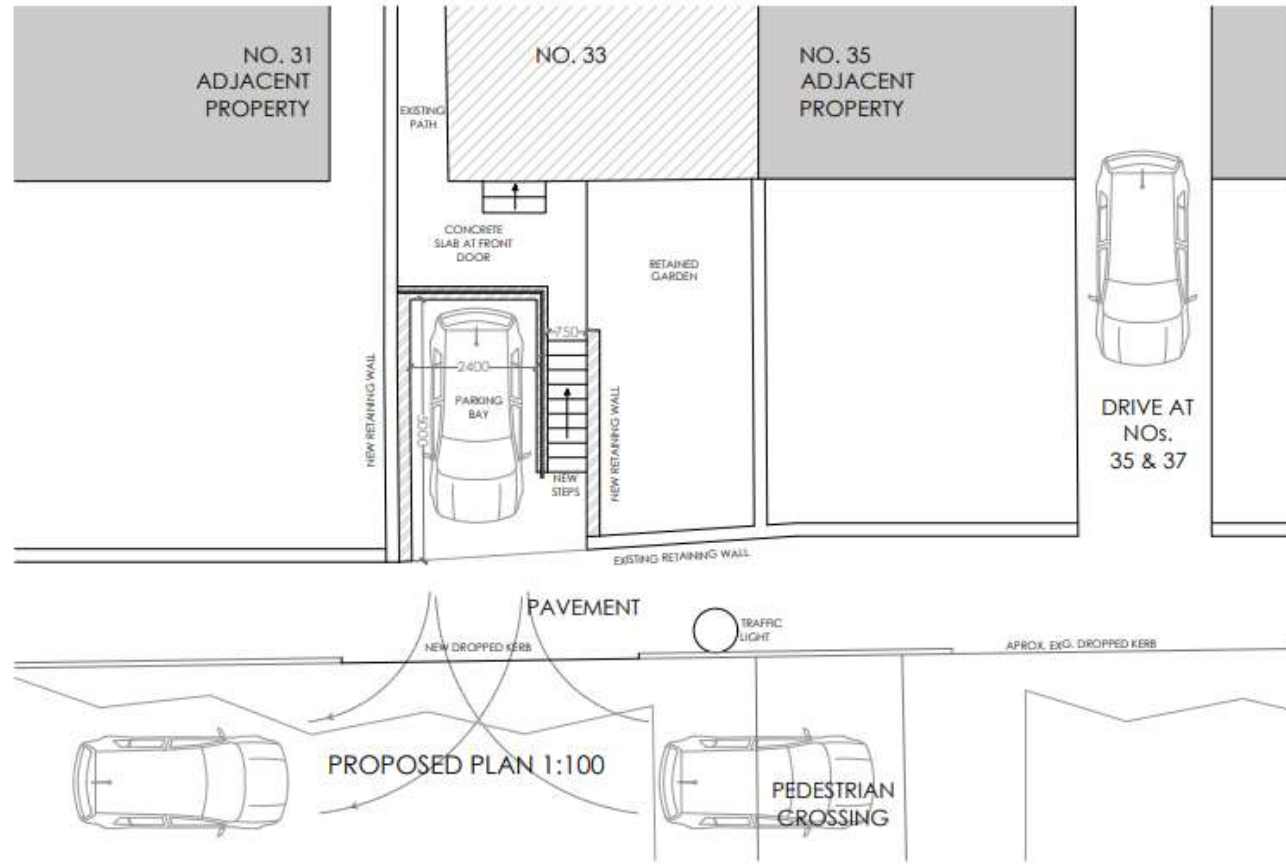
**SITE LOCATION PLAN**  
**AREA 2 HA**  
**SCALE 1:1250 on A4**  
**CENTRE COORDINATES: 242965, 58998**



**PA20/11481**  
**Site and Block**

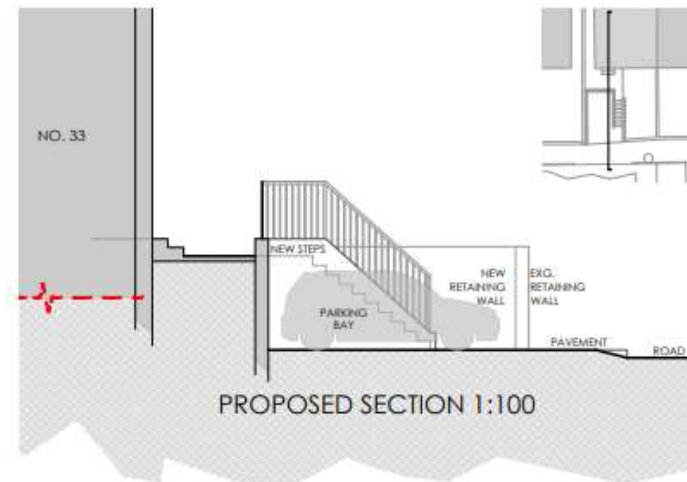
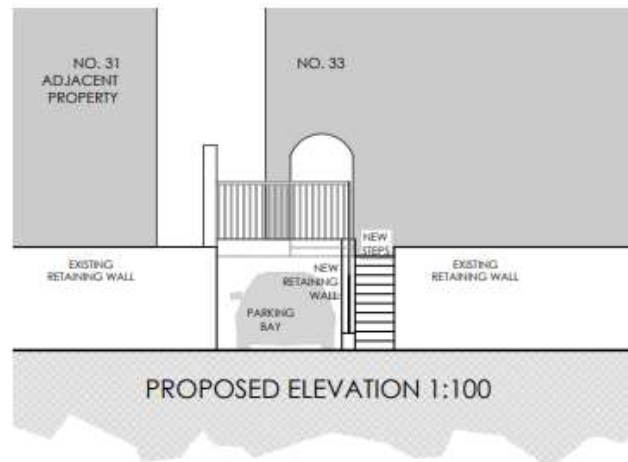
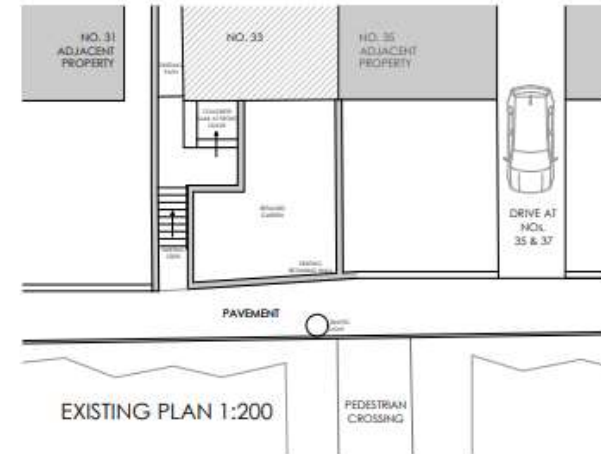


# PA20/11481 Proposed Mixed



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B	DRIVE AND STEP MODIFICATIONS	22/12/2020	JH
A	DIMENSIONS REVISED	18/12/2020	PD5
REV	DESCRIPTION	DATE	IN5
<p><b>Stackhouse Design Ltd</b>  Barbican House, 36 New Street, Barbican, Plymouth, Devon, PL1 2NA  Tel: 01752 426 420  info@stackhousedesign.co.uk  www.stackhousedesign.co.uk</p>			
PROPOSED NEW OFF ROAD PARKING		JH	
33 NORTH ROAD, SALTASH		17/12/2020	
PL12 6BD			
DENISE WATKINS			
PLANNING APPLICATION DRAWINGS		AS NOTED @ A3	

PLANNING APP.	20-16-20	B
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# Planning Applications

8c

**PA20/11542 – 40 Longview Road Saltash PL12 6EF**

**Response Date: 29.01.21.**



**PA20/11542**  
**Location Plan,**  
**Existing Site**  
**Plan and Existing**  
**Ground Floor**



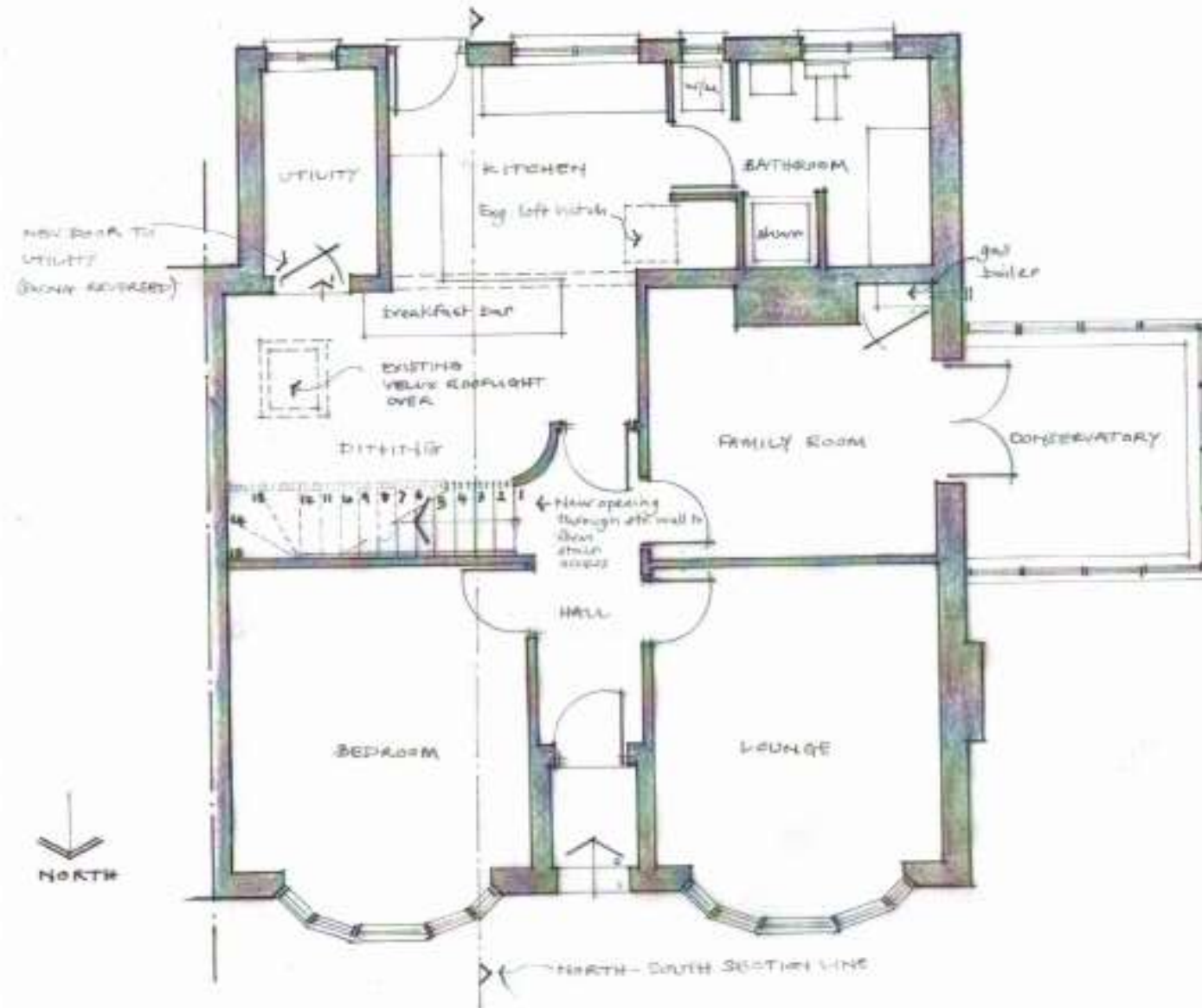
PA20/11542-1

PROPOSED BUNGALOW LOFT CONVERSION for  
Mr & Mrs A. Tapp

40 LONGVIEW ROAD, SALTASH, CORNWALL. PL12 6EF

Lisa Cooper BA (Hons) Arch Dip Arch Touchstone PL12 6NJ

PA20/11542  
Proposed  
Ground Floor



PROPOSED GROUND FLOOR PLAN 1:50

PA20/11542-3

PROPOSED BUNGALOW LOFT CONVERSION for

Mr & Mrs A. Tapp

40 LONGVIEW ROAD, SALTASH, CORNWALL PL12 6EF

Drawn by: BA/Hand Arch. Dis Arch. Touchstone PL12 6NJ

PA20/11542  
Existing  
Elevations and  
Proposed Site  
Plan



EXISTING NORTH ELEVATION FRONTING ONTO LONGVIEW ROAD 1:100



EXISTING SOUTH ELEVATION TO GARDEN 1:100



EXISTING WEST ELEVATION 1:100



PROPOSED SITE PLAN 1:200

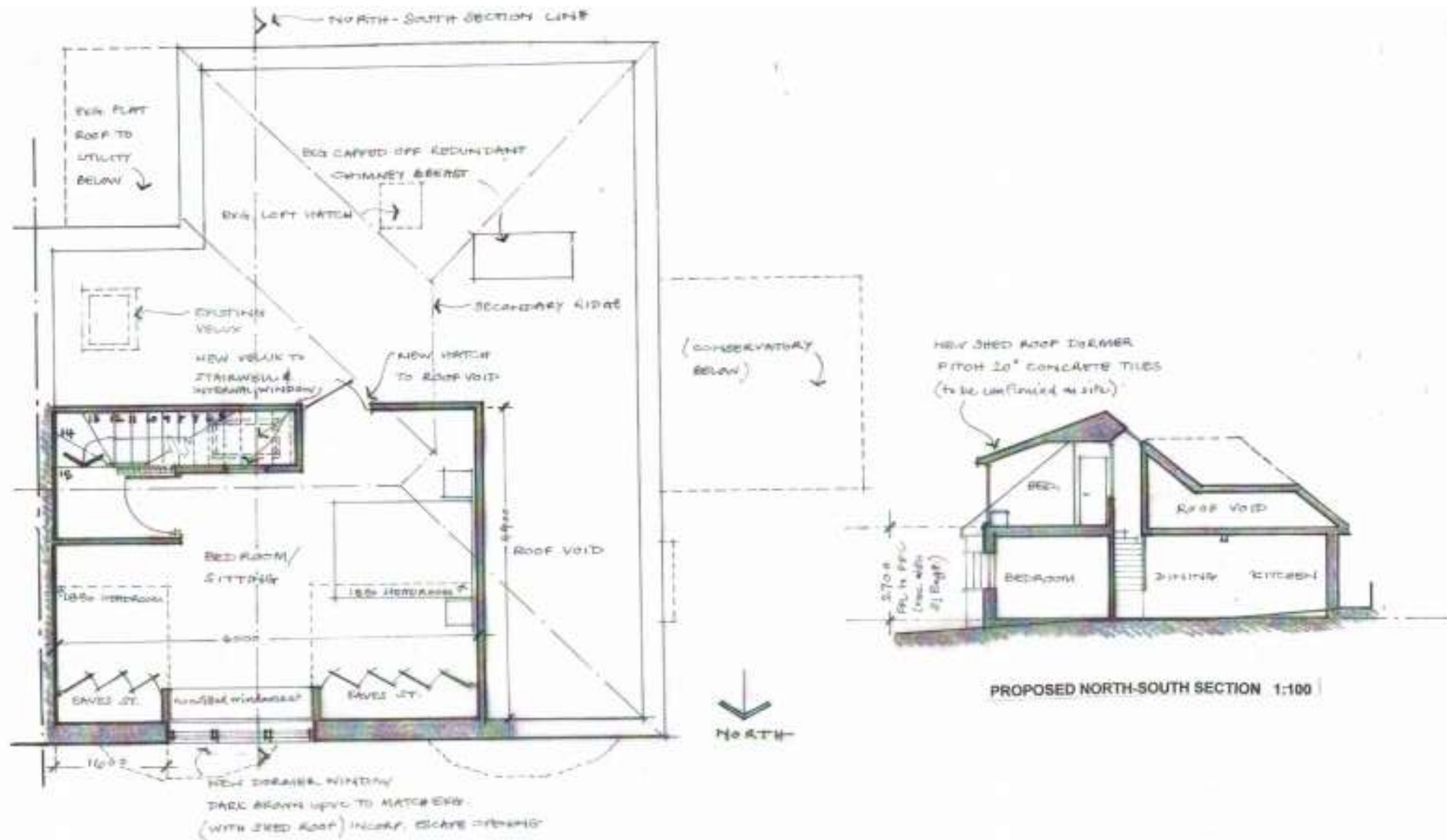
PA20/11542-2

PROPOSED BUNGALOW LOFT CONVERSION for  
Mr & Mrs A. Tapp

40 LONGVIEW ROAD, SALTASH, CORNWALL PL12 6EP

Lisa Cooper BA (Hons) Arch Dip Arch Touchstone PL12 6NJ

**PA20/11542**  
**Proposed First**  
**Floor and North-**  
**South Section**



PROPOSED FIRST FLOOR PLAN 1:50

PROPOSED NORTH-SOUTH SECTION 1:100

PA20711542-4

PROPOSED BUNGALOW LOFT CONVERSION for

Mr & Mrs A. Tapp

40 LONGVIEW ROAD, SALTASH, CORNWALL PL12 6EF

Lisa Cooper BA (Hons) Arch Dip Arch Touchstone PL12 6NJ



# PA20/11542

## Proposed Elevations and Existing North-South Section



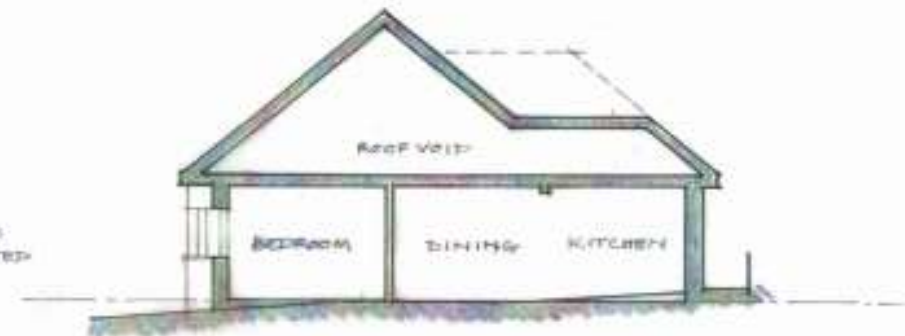
PROPOSED NORTH ELEVATION FRONTING ONTO LONGVIEW ROAD 1:100



PROPOSED SOUTH ELEVATION TO GARDEN 1:100



PROPOSED WEST ELEVATION 1:100



EXISTING NORTH-SOUTH SECTION 1:100

PA20/11542-3

PROPOSED BUNGALOW LOFT CONVERSION for

Mr & Mrs A. Tapp

40 LONGVIEW ROAD, SALTASH, CORNWALL PL12 6E

Lisa Cooper BA (Hons) Arch Dip Arch Touchstone PL12 8NJ

## **DESIGN & ACCESS STATEMENT**

**40 LONGVIEW ROAD SALTASH CORNWALL PL12 6EF**

The property concerned is situated in a road which comprises mixed houses and bungalows overlooking the River Tamar to the North. It is a semi-detached bungalow; the other half having been subject to a loft conversion some years ago. Many of the other properties in the road have also had loft extensions in order to take full advantage of the view.

The dormer is proposed to be of a "shed roof" design to assimilate it into the original roof. This will be finished in concrete tiles to match the existing, and the proposed window will be of rosewood/dark brown upvc to match those of the existing ground floor.



The proposed new bedsitting room upstairs will be accessed via a new staircase with a pitch suitable for use by those of more limited mobility in order to provide long term use for the occupants. The stairs rise up from the existing hallway allowing clear egress in the event of an emergency. Should this stairway be unusable in the case of fire, then escape will be possible through a clear, openable window in the dormer with a minimum size of not less than 500 x 1180mm.

The new room will be separated from the stairway by an upstairs lobby allowing effective independent heating of the space. The North light of the dormer window will be supplemented by a new velux rooflight over the stairwell to the South, allowing sunlight to enter the room via an internal window to enhance the enjoyment of the room year round.

# Planning Applications

8c

**PA20/11321 – 432 New Road Saltash PL12 6HW**

**Response Date: 01.02.21.**

**PA20/11321**  
**Proposed**  
**Model Images**



Entrance View - As Proposed



Entrance View - As Proposed



Rear Garden View - As Proposed



Rear Garden View - As Proposed



Rear Garden View - As Proposed



Rear Garden View - As Proposed



**PA20/11321**  
**Site Location Plan**

**432 New Road, Saltash, PL12 6HW**

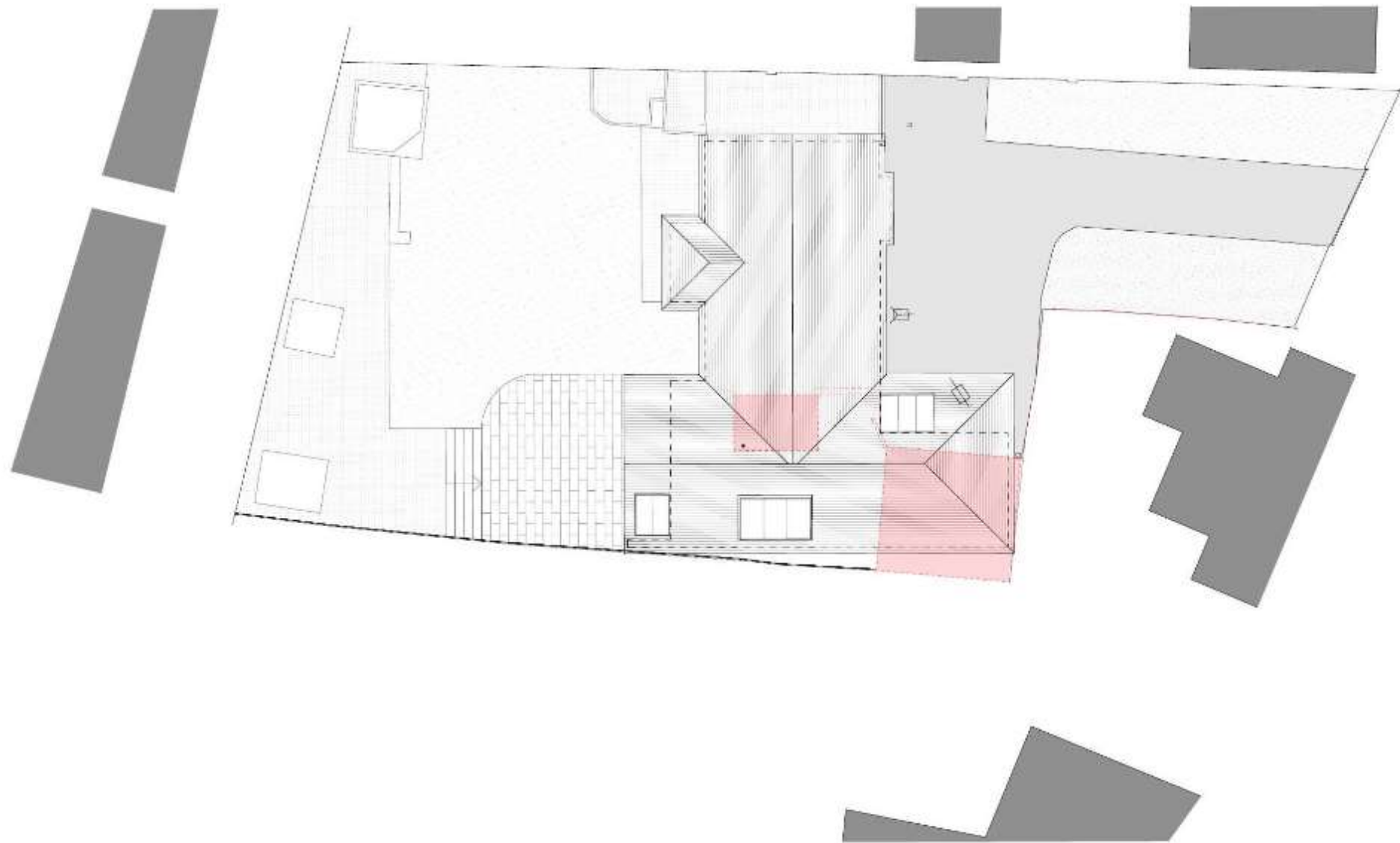


**PA20/11321**  
**Existing Site Plan**



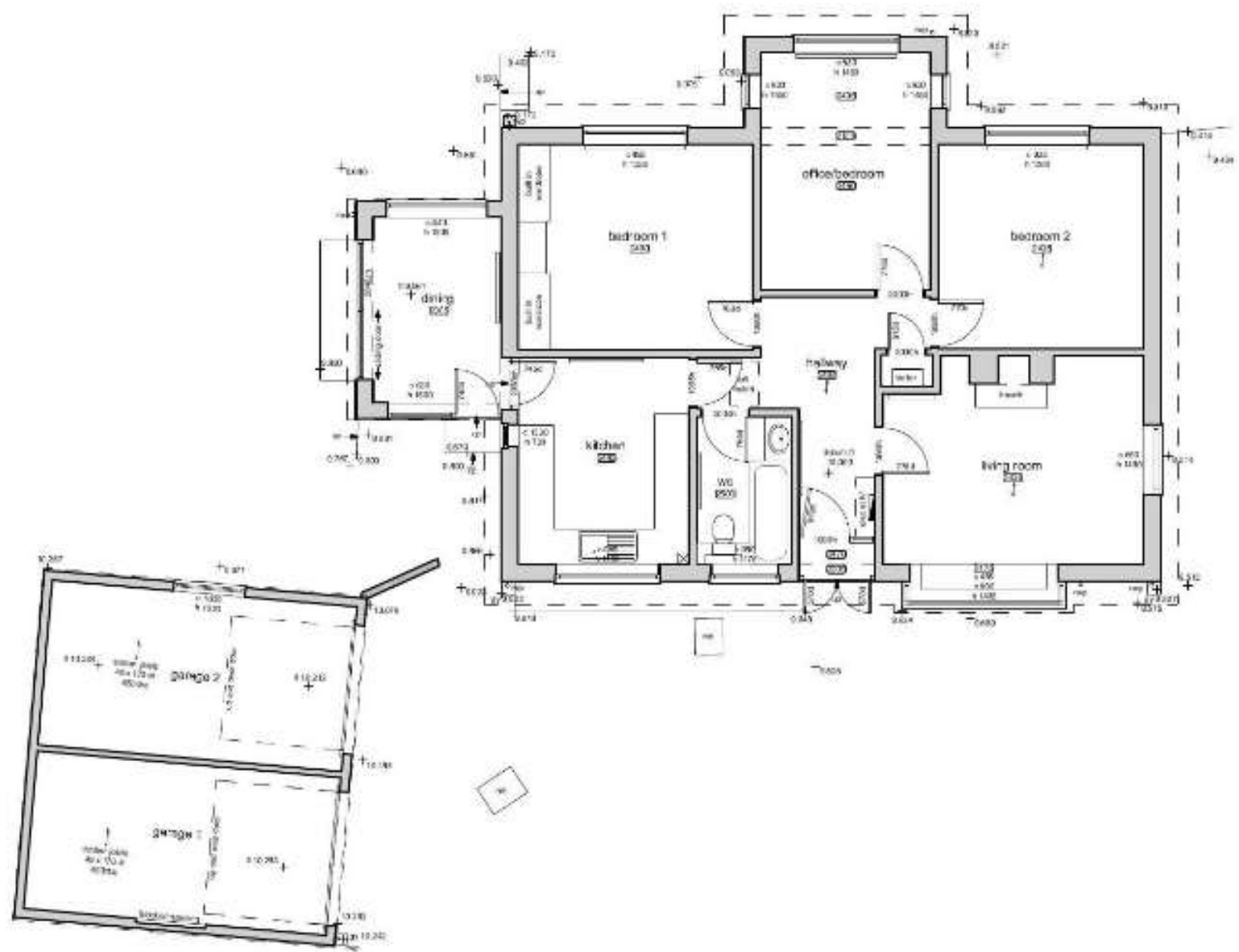
Site Plan - As Existing  
1/200

**PA20/11321**  
**Proposed**  
**Site Plan**





PA20/11321  
Existing Ground  
Floor Plan



Ground Floor Plan - As Existing  
1:100

**PA20/11321**  
**Proposed**  
**Ground**  
**Floor**



PA20/11321

Existing

Roof Plan



Roof Plan - As Existing  
1:100

David Glasscock Architecture

www.davidglasscock.co.uk 33 New Meadow - Rybridge - PL21 9PT

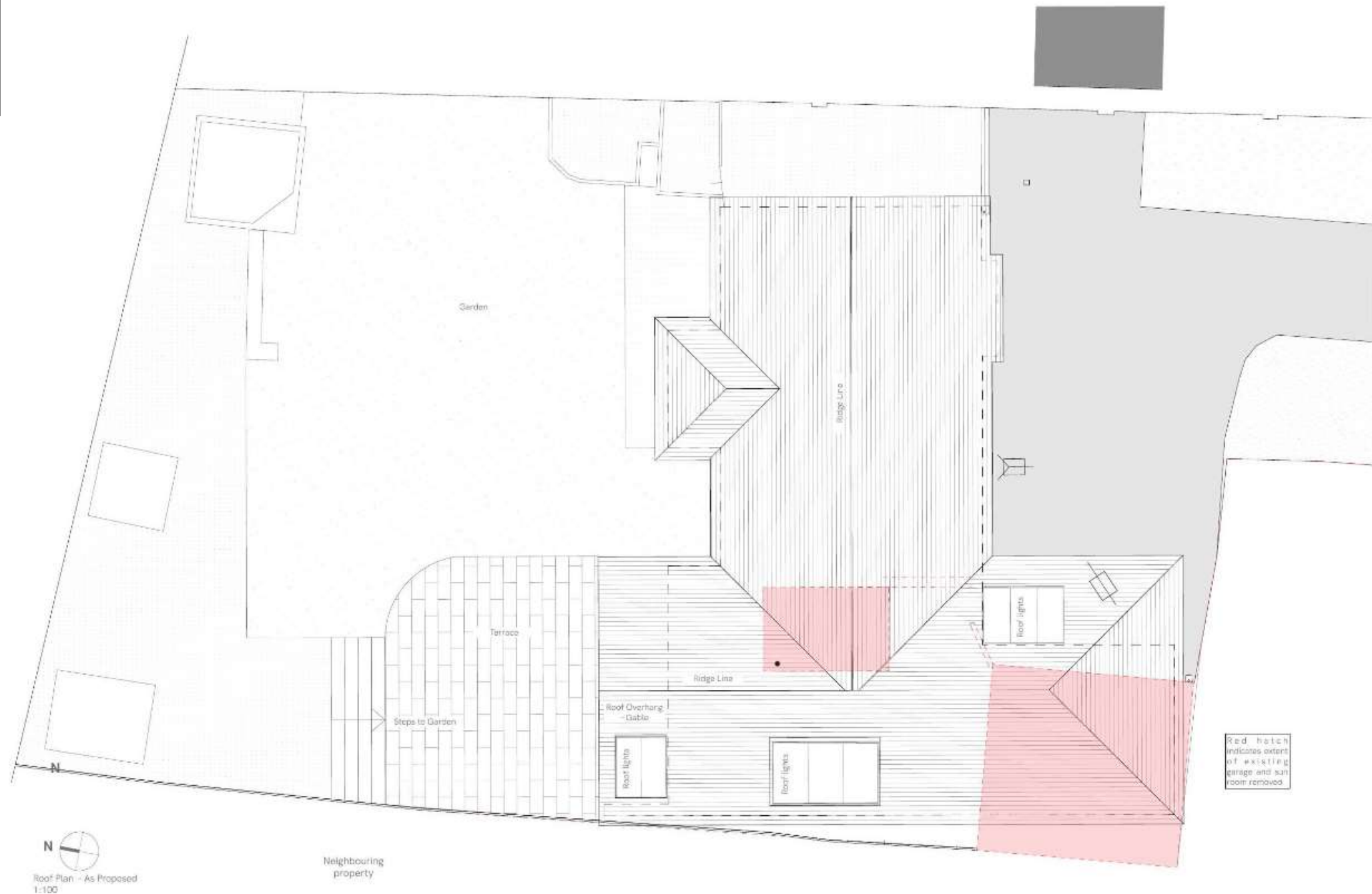


Project:	Status:	Drawing No:	Drawing:	Scale:	Revision:
2025 432 New Road, Saltash PL12 6HW	PLANNING	DGA P03	Existing Roof Plan Original Paper Size A3	1:100 @A3	

NOTES:  
1. THIS DRAWING IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION.  
2. ALL DIMENSIONS ARE TO BE CHECKED AND CONFIRMED.  
3. ALL DIMENSIONS ARE TO BE CHECKED AND CONFIRMED.  
4. ALL DIMENSIONS ARE TO BE CHECKED AND CONFIRMED.



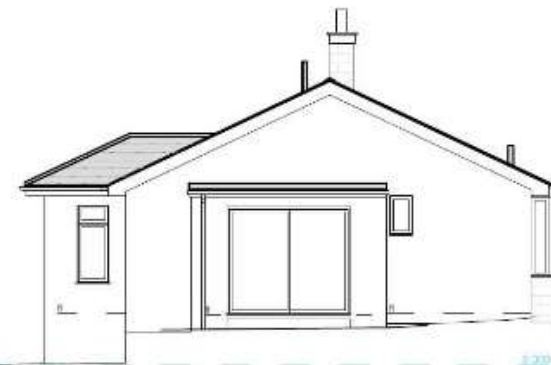
**PA20/11321**  
**Proposed**  
**Roof Plan**



**PA20/11321**  
**Existing**  
**Elevations**



south elevation 1:100

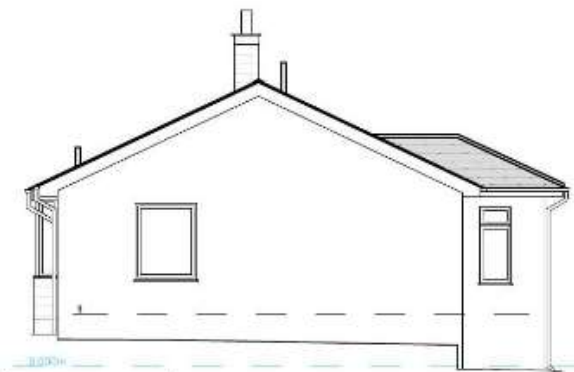


west elevation 1:100

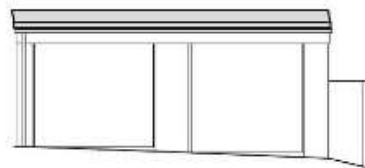
- Material Key:
- 1. Existing tiled roof
  - 2. Existing UPVC White Windows
  - 3. White fascias
  - 4. Render white
  - 5. Fairfaced masonry



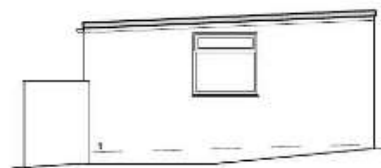
north elevation 1:100



east elevation 1:100



garage - east elevation 1:100

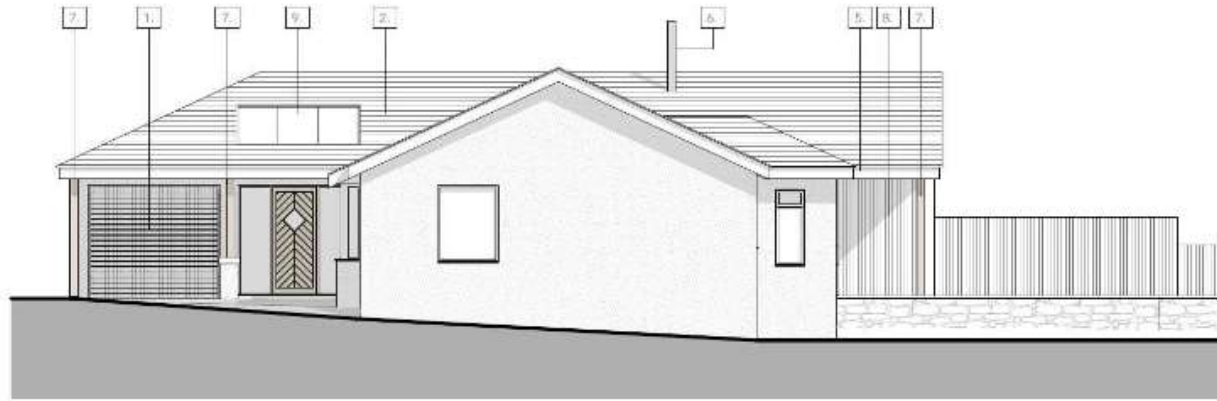


garage - north elevation 1:100



# PA20/11321

## Proposed Elevations

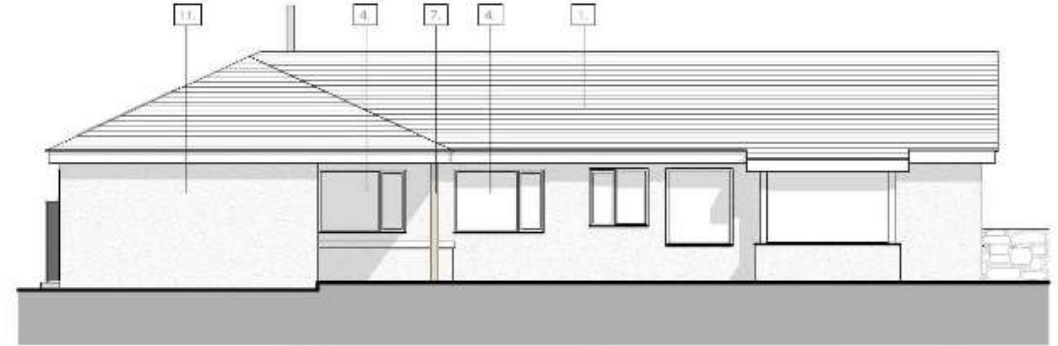


East Elevation - As Proposed  
1:100

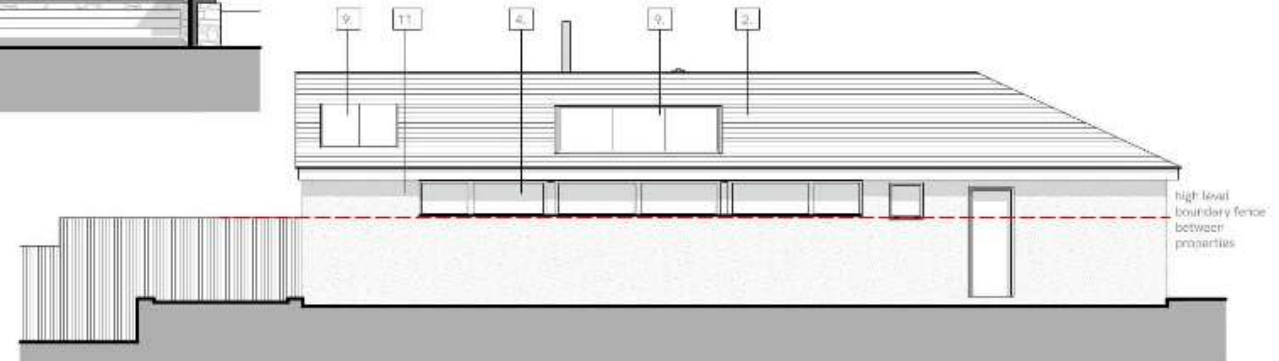
- Material Key:
- 1. Existing tiled roof
  - 2. New tiled roof to match existing
  - 3. Existing UPVC White Windows
  - 4. New Aluminium windows - white
  - 5. White fascias
  - 6. Flue
  - 7. Timber Cladding
  - 8. Vertical timber cladding
  - 9. Roof lights (Patent Glazing)
  - 10. Timber Clad Garage Door
  - 11. Render white



North Elevation - As Proposed  
1:100



South Elevation - As Proposed  
1:100



West Elevation - As Proposed  
1:100



# Planning Applications

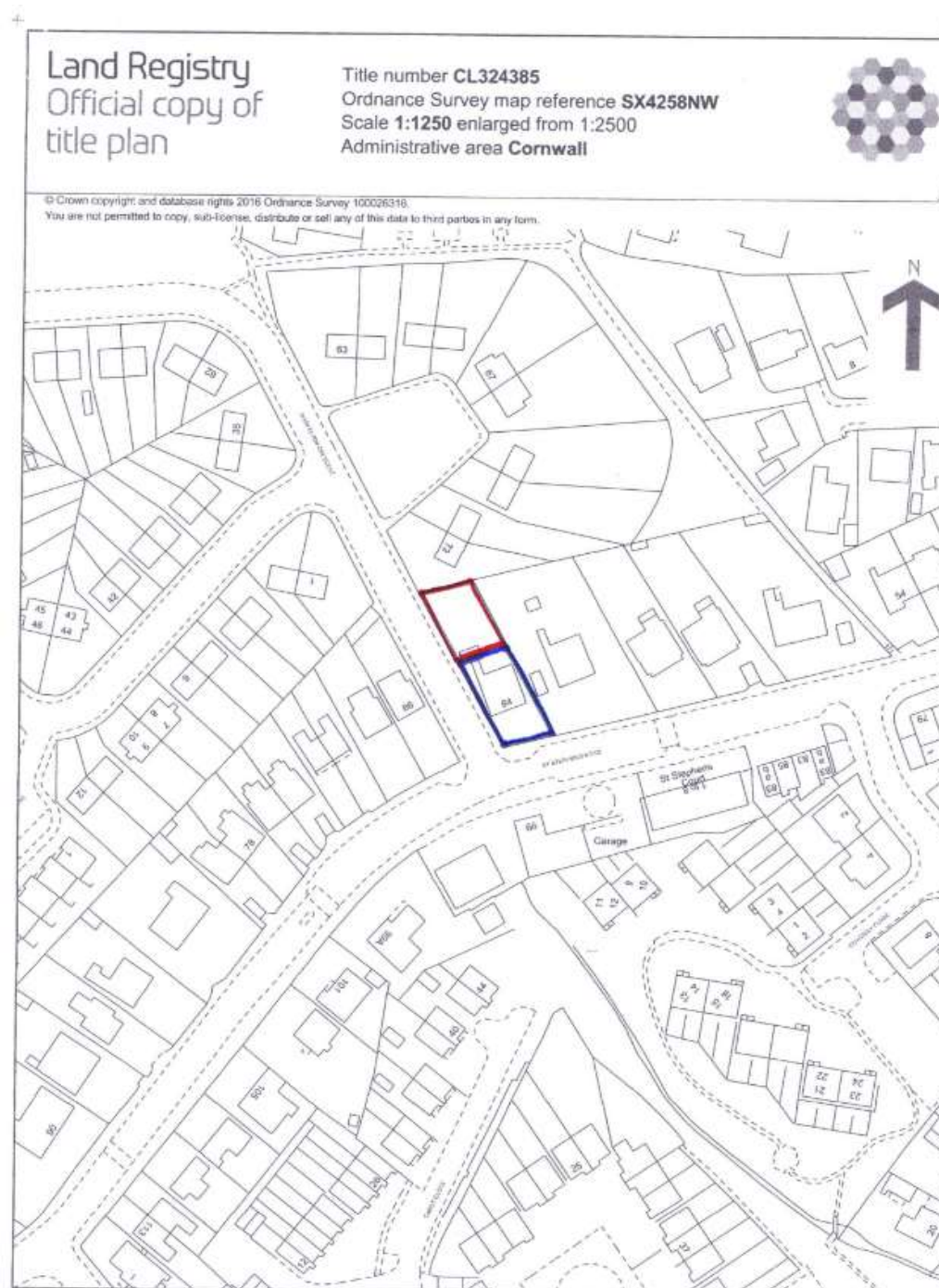
8c

**PA20/11532 – Land North of 64 St Stephens Road**

**Response Date: 03.02.21.**

# PA20/11532

## Site Location



# PA20/11532

## Excerpt from Application Form

### 4. Description of the Proposal

Please describe the proposed development

Construction of one residential dwelling

Has the work already been started without planning permission?

☐ Yes ☒ No

### 5. Site Area

What is the measurement of the site area?  
(numeric characters only).

0.02

Unit

Hectares

### 6. Existing Use

Please describe the current use of the site

Garden of private dwelling

Is the site currently vacant?

☒ Yes ☐ No

If Yes, please describe the last use of the site

Private garden of existing dwelling

When did this use end  
(if known)?  
DD/MM/YYYY

09/08/2020

**Does the proposal involve any of the following? If Yes, you will need to submit an appropriate contamination assessment with your application.**

Land which is known to be contaminated

☐ Yes ☒ No

Land where contamination is suspected for all or part of the site

☐ Yes ☒ No

A proposed use that would be particularly vulnerable to the presence of contamination

☐ Yes ☒ No

# Planning Applications

8d

**Tree Applications: None.**

# Planning Applications

8e

**Tree Notifications: None.**

# Agenda Item

9

Consideration of Licence Applications: None.



# Agenda Item 10

To receive and approve the Planning – A Guide for Councillors

# Agenda Item 11

Correspondence: None.

# Agenda items

## 12-14

### Public Bodies (Admission to Meetings) Act 1960:

To resolve that pursuant to Section 1(2) of the Public Bodies (Admission to meetings) Act 1960 the public and press leave the meeting because of the confidential nature of the business to be transacted.

To consider any items referred from the main part of the agenda.

### Public Bodies (Admission to Meetings) Act 1960:

To resolve that the public and press be re-admitted to the meeting.

## Agenda item 15-17

To consider urgent non-financial items at the discretion of the Chairman.

Press and social media releases.

Date of next meeting: Tuesday 16<sup>th</sup> February 2021 at 6.30 p.m.