



Please note that this is a work-in-progress document and will be updated right up to the point of the meeting. This is an abridged version as otherwise the powerpoint is too large to publish on the STC web.



Saltash Town Council

Meeting of The Planning & Licensing Committee

Tuesday 16th March 2021 at 6.30 p.m.

Town Councillors:

Saltash North:

S Gillies

J Peggs

W Phillips

B Samuels

Saltash South:

M Fox – Vice Chairman

S Lennox-Boyd

S Martin

A Pinckney

Saltash East:

R Bickford

R Bullock

J Rance

P Samuels

Saltash West:

G Challen

J Dent - Chairman

S Miller

D Yates

Planning Applications

8c

PA21/00837 – 11 Hawks Park Lower Burraton PL12 4SP

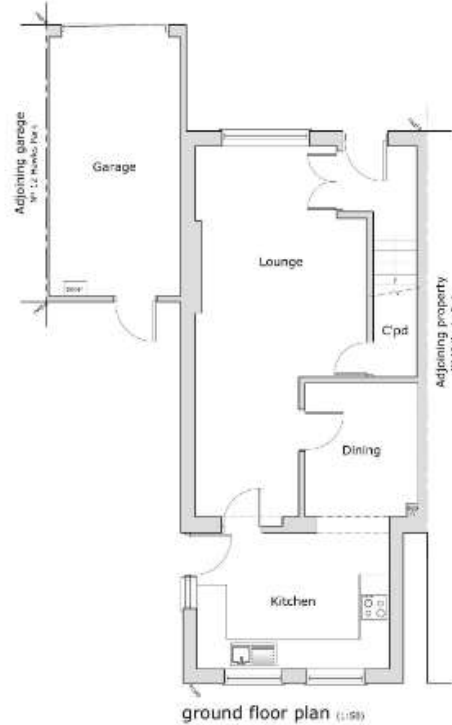
Two storey side extension and internal alterations.

Response Date: Extension to 19.03.21.

PA21/00837

Existing Plans & Elevations

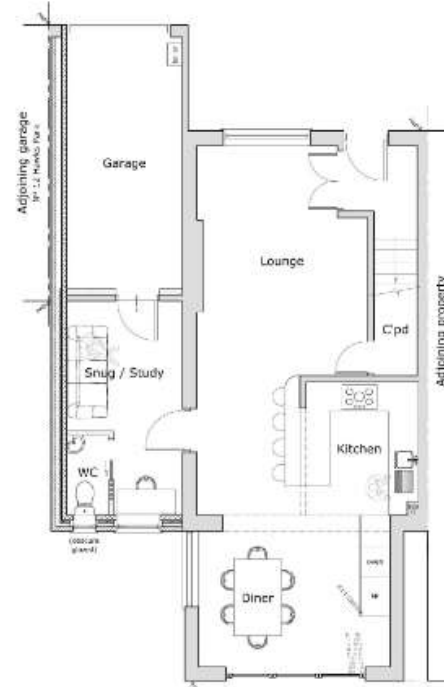
(Includes Location)



PA21/00837
Proposed
Plans &
Elevations



site plan (1/200)



ground floor plan (1:50)



first floor plan (1:50)



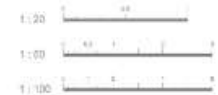
north facing elevation (7-100)



west facing sectional elevation (1:100)



south facing elevation (1:100)



Planning Applications

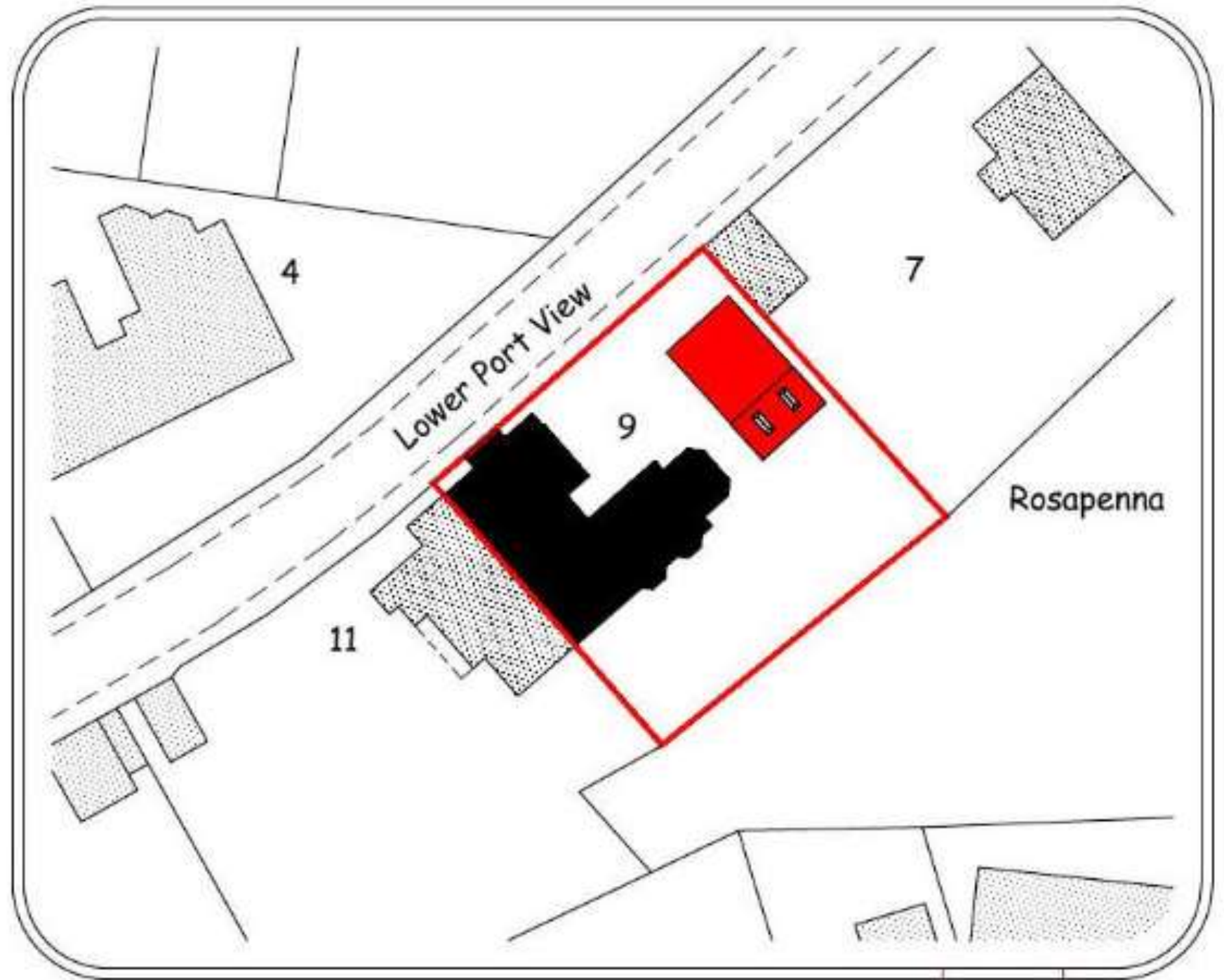
8c

PA21/00921 – 9 Lower Port View St Stephens Saltash

Demolish existing single garage and replace with double detached garage with home office / work space below.

Response Date: Extension to 19.03.21

PA21/00921
Site Location



Lower Port View

GARAGE TO
7 LOWER PORT
VIEW

Planning permission
granted 21/12/2018
PA18/05725

9

11

N

SITE TITLE:
PROPOSED ALTERATIONS AT:-
9 LOWER PORT VIEW,
SALTASH,
PL12 4BY

THIS DRAWING IS FOR THE PURPOSES OF TOWN PLANNING AND BUILDING
REGULATIONS APPLICATION ONLY. DIMENSIONS ARE NOT TO BE SCALED FROM
THIS DRAWING.

DRAWING TITLE:
EXISTING SITE LAYOUT

CLIENT NAME:
MR JOHN RICHARDS

DRAWN J. MURCH	DATE 20.01.2021	SCALE 1:100 SHEET SIZE A1
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dpc
Architectural Services
Building solutions in Cornwall

2 Vassal Close, Bodmin Cornwall PL31 2QG

DRAWING NO 2110 - 01 **REVISION NO** - A

SITE TITLE:

PROPOSED ALTERATIONS AT:-
9 LOWER PORT VIEW,
SALTASH.
PL12 48Y

THIS DRAWING IS FOR THE PURPOSES OF TOWN PLANNING AND BUILDING REGULATIONS APPLICATION ONLY. DIMENSIONS ARE NOT TO BE SCALED FROM THIS DRAWING.

DRAWING TITLE:

EXISTING SITE LAYOUT

CLIENT NAME _____

MR JOHN RICHARDS

DRAWING:

J. MURCH

DATE _____

20.01.2021

SCALE

1:100
SHEET SIZE A1

dpc

dpc
Architectural Services
Building solutions in Connecticut

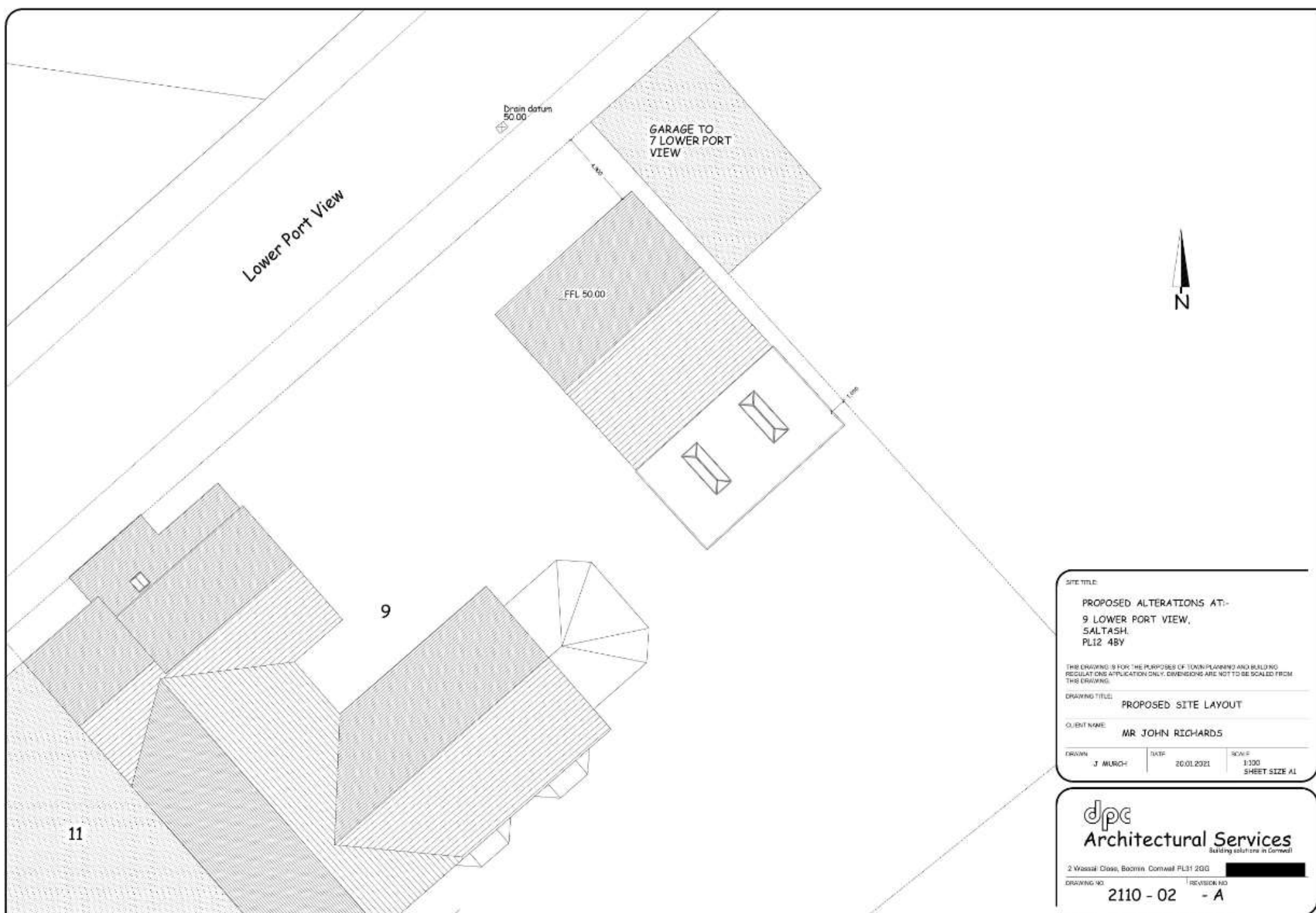
2 Waasal Close, Bodmin, Cornwall PL31 2GG

DRAWING NO.

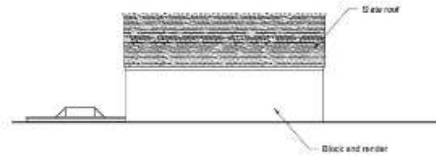
REVISION NO.

2110 - 01 - A

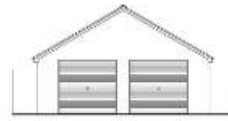
PA21/00921 Proposed Site Layout



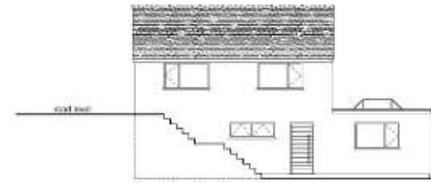
PA21/00921 Proposed Layout



Side North East elevation (scale 1:100)



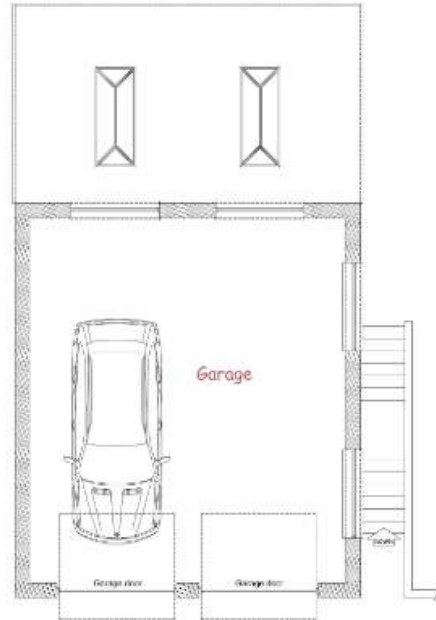
Front North West elevation (scale 1:100)



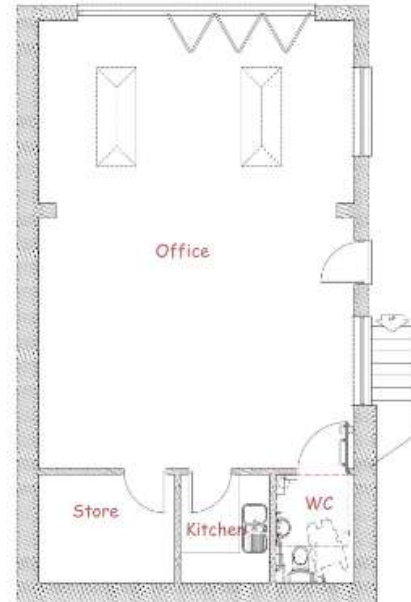
Side South West elevation (scale 1:100)



Rear South East elevation (scale 1:100)



Ground floor plan



Lower Ground floor plan

Scale 1:50
Distance in Meters

SITE TITLE:
PROPOSED ALTERATIONS AT:-
9 LOWER PORT VIEW,
SALTASH,
PL12 4BY

THIS DRAWING IS FOR THE PURPOSES OF TOWN PLANNING AND BUILDING
REGULATIONS APPLICATION ONLY. DIMENSIONS ARE NOT TO BE SCALED FROM
THIS DRAWING.

DRAWING TITLE:
PROPOSED LAYOUT

CLIENT NAME:
MR JOHN RICHARDS

DRAWN J. MURCH	DATE 20.01.2021	SCALE 1:50 SHEET SIZE A1
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dpc
Architectural Services
Building solutions in Cornwall

2 Wassall Close, Bodmin Cornwall PL31 2GG

DRAWING NO
2110 - 06

REVISION NO
- A

Planning Applications

gc

PA21/01103 – 7 Clover Walk Saltash PL12 4UU

First floor extension over existing garage. Previously approved in 2012.

Response Date: Extension to 19.03.21.

PA21/01103 - Existing & Proposed Block Plan – Drawing No. 01.02 REV 2



Existing Block Plan
1 : 200

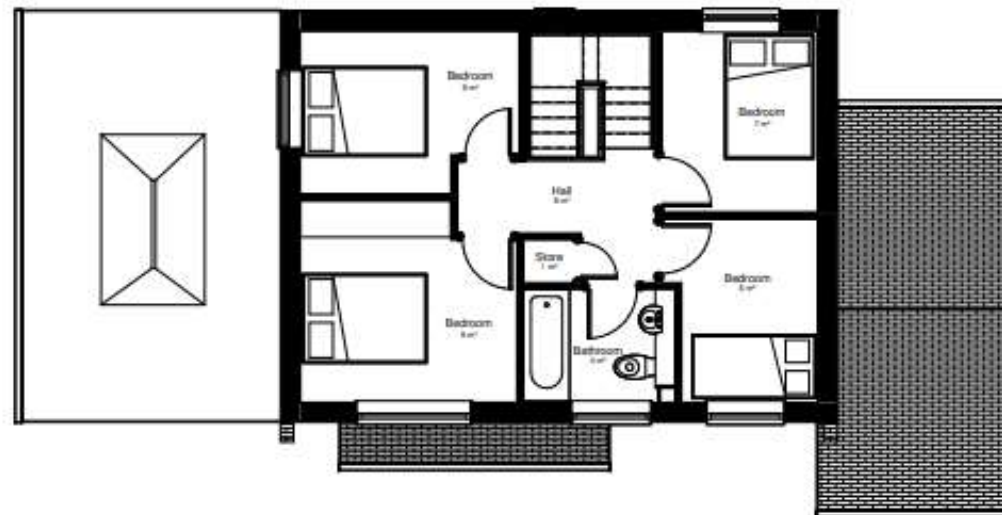


Proposed Block Plan
1 : 200

PA21/01103
Existing
Floor Plans
Drawing No.
20.01 REV 2



Ground Floor - Existing
1 : 50



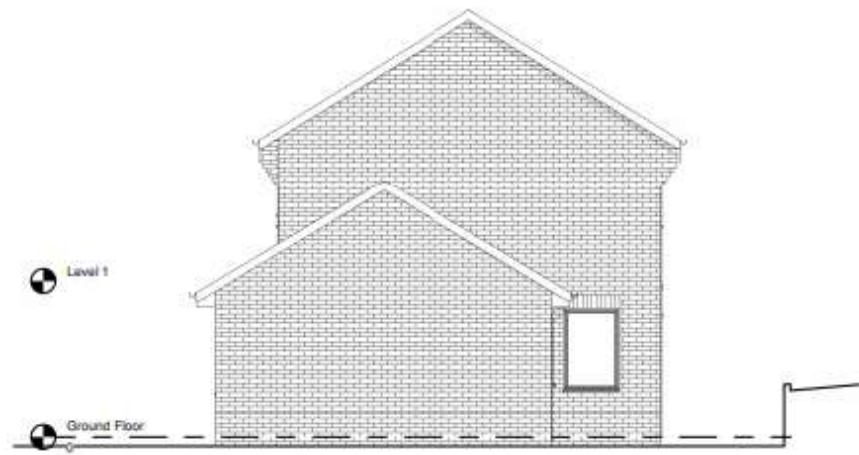
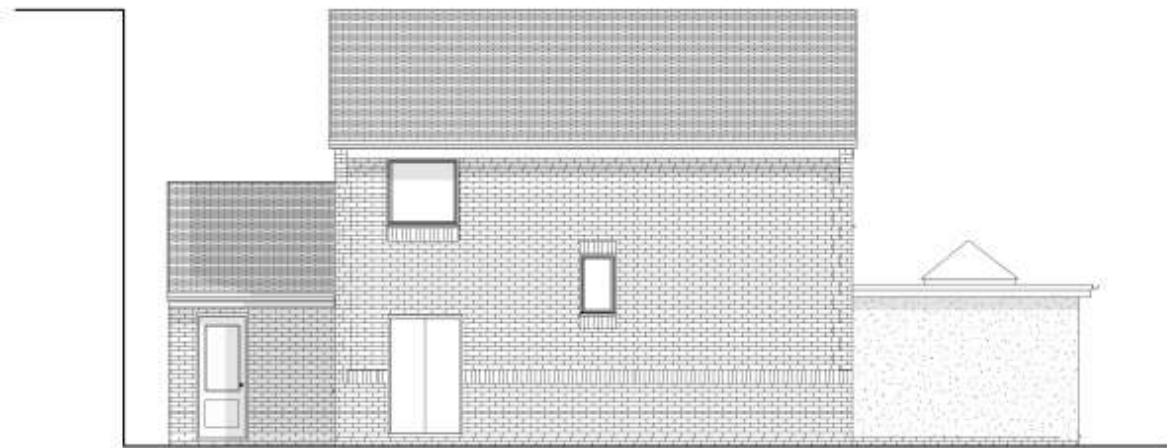
PA21/01103
Proposed
Floor Plans
Drawing No.
22.01 REV 2



Ground Floor - Proposed
1 : 50



PA21/01103
Existing
Elevations
Drawing No.
30.01 REV 2



Level 1

Ground Floor

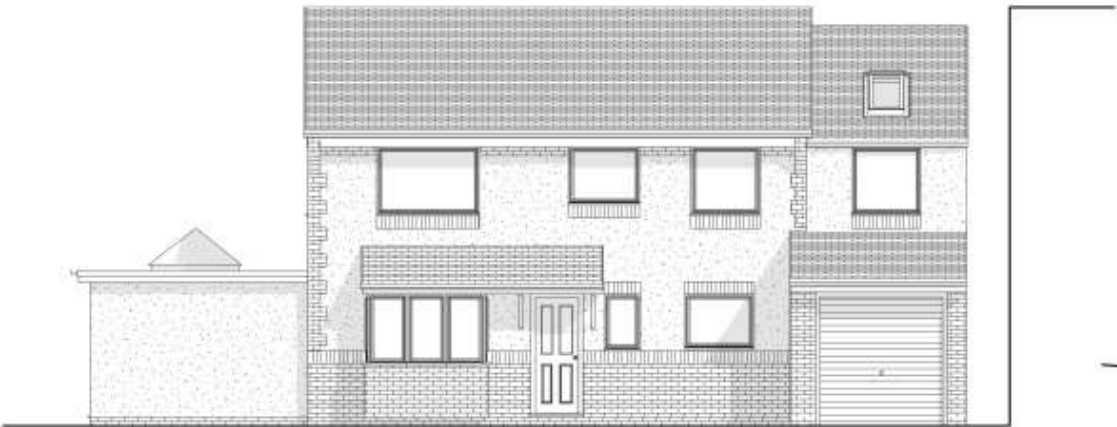
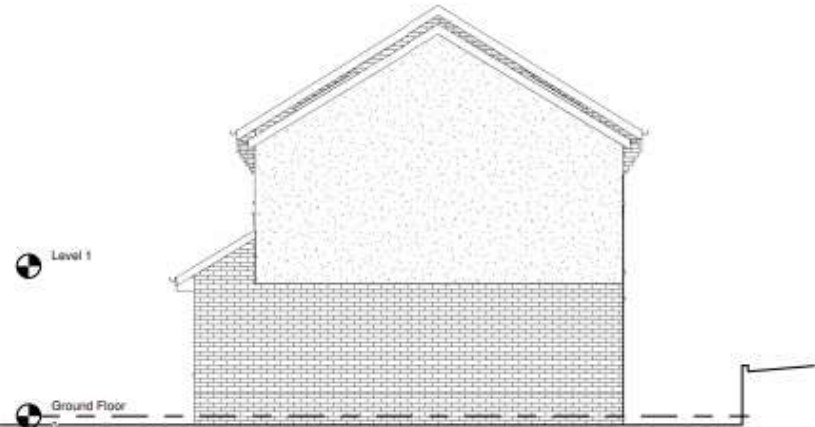
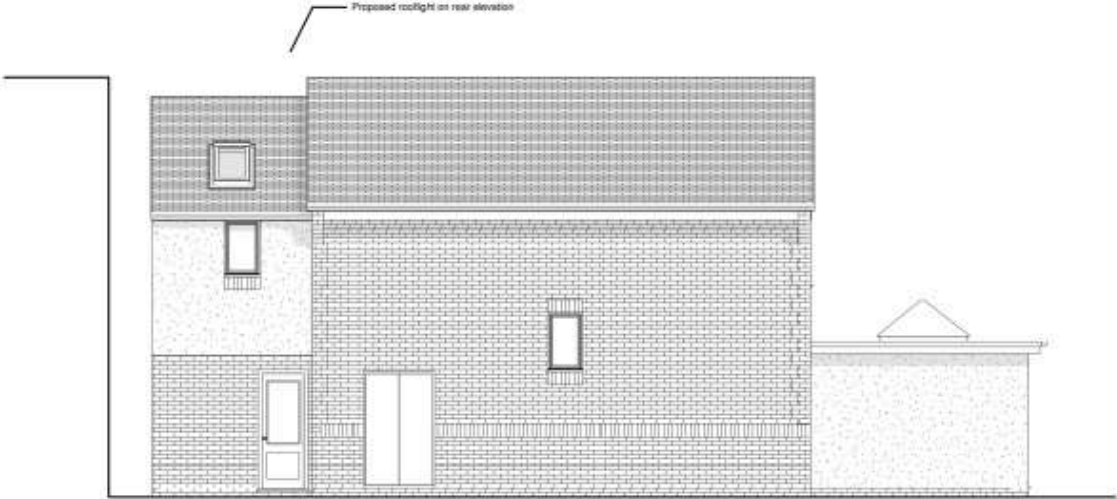


East Elevation - Existing
1 : 50



South Elevation - Existing
1 : 50

PA21/01103
Proposed
Elevations
Drawing No.
32.01 REV 2



East Elevation - Proposed
1 : 50



South Elevation - Proposed
1 : 50

PA21/01103
3D Views
32.02 REV 2



3D - Existing



3D - Proposed

Planning Applications

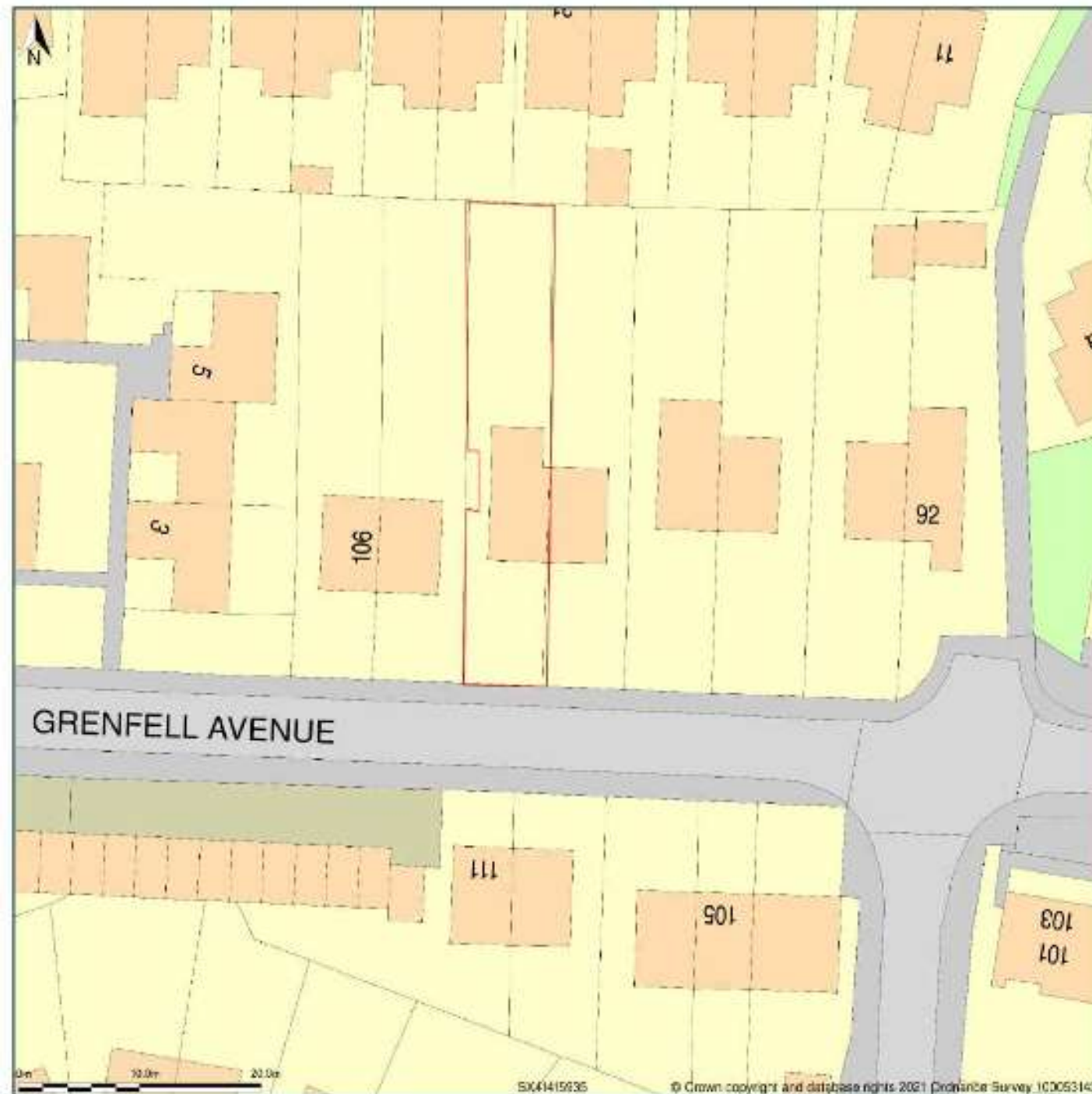
8c

PA21/01232 – 102 Grenfell Avenue Saltash PL12 4JE

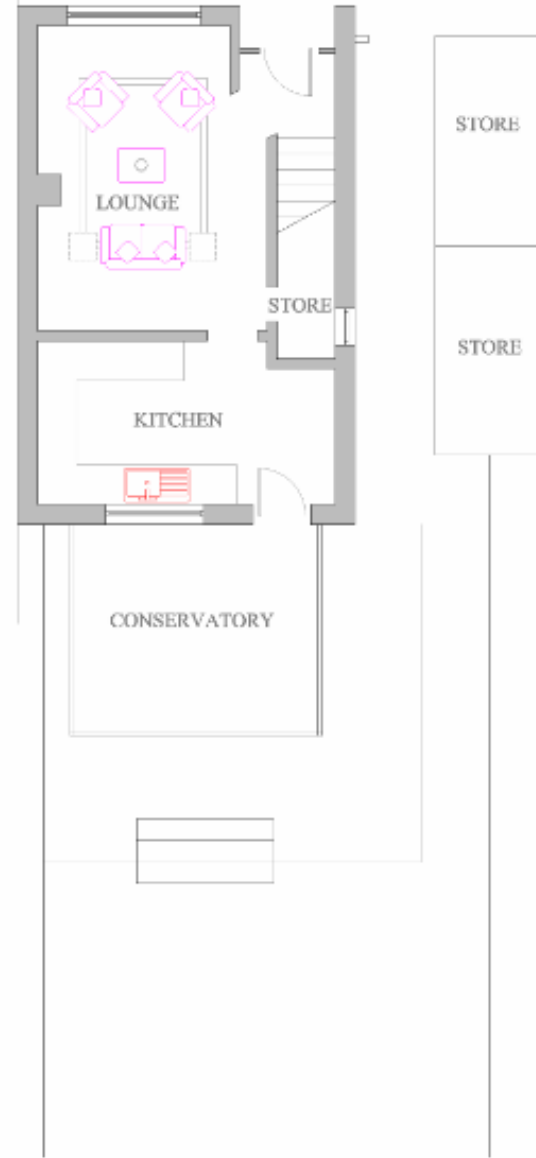
Two storey rear extension.

Response Date: Extension to 19.03.21.

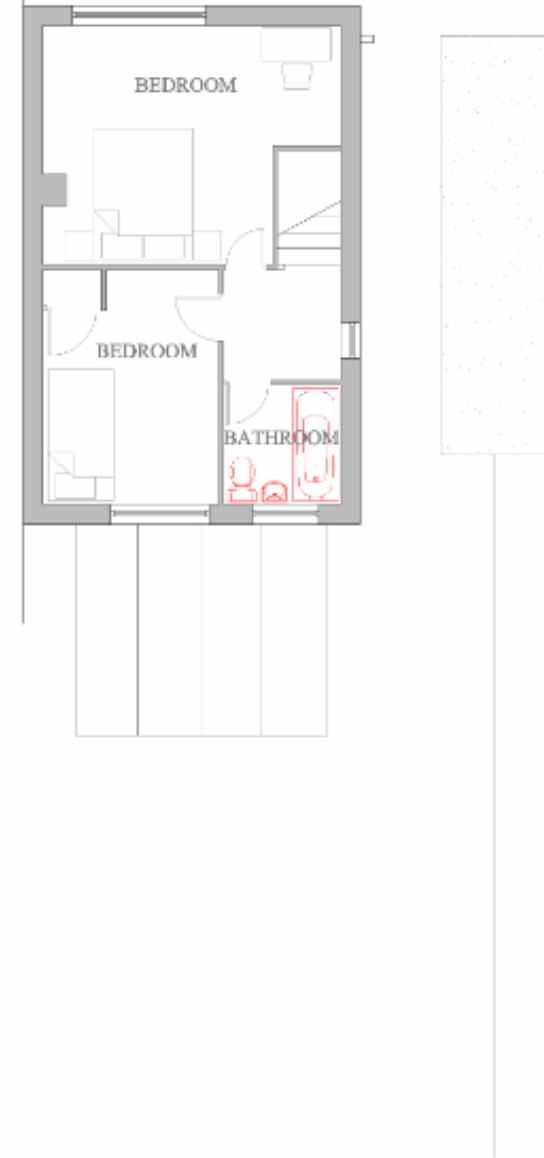
PA21/01232
Site & Block
Plan



PA21/01232
Existing
Floor Plans



GROUND FLOOR



FIRST FLOOR

PA21/01232
Proposed
Floor Plans



GROUND FLOOR



FIRST FLOOR

NOTE: ALL DIMENSIONS TO BE
CHECKED ON SITE. DO NOT SCALE OFF
THIS DRAWING FOR CONSTRUCTION
PURPOSES

PA21/01232
Existing
Elevations



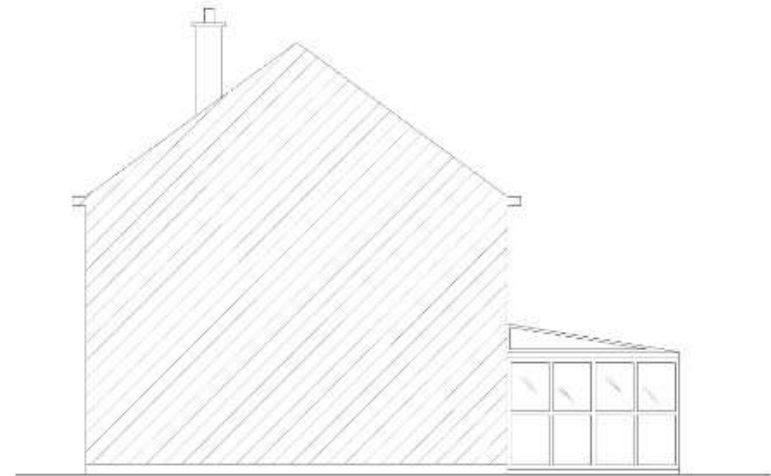
SOUTH ELEVATION



NORTH ELEVATION

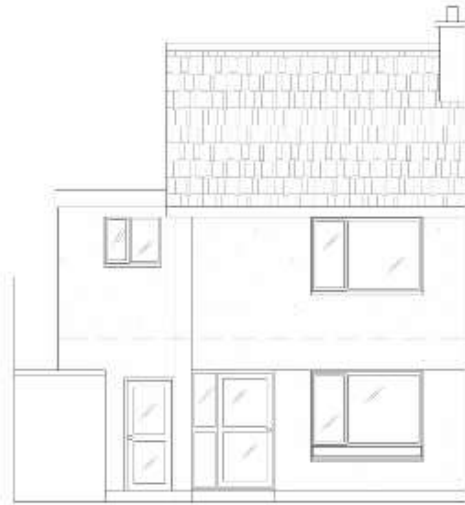


WEST ELEVATION



EAST ELEVATION

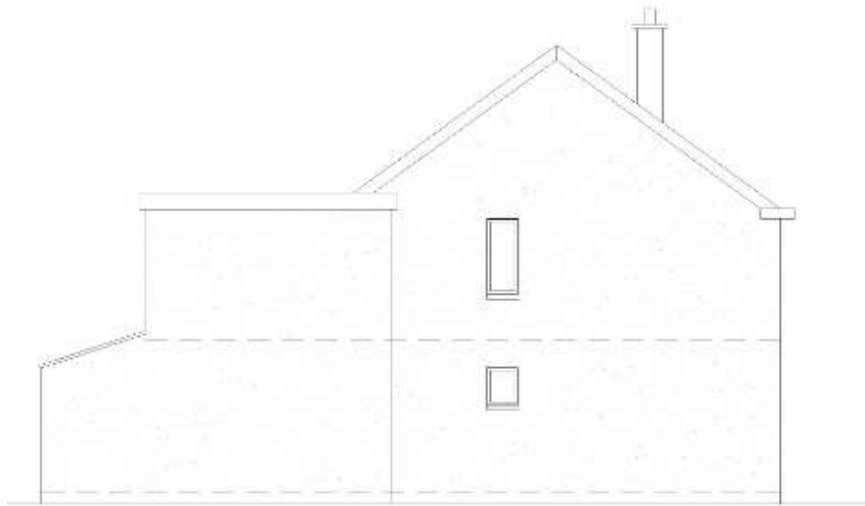
PA21/01232
Proposed
Elevations



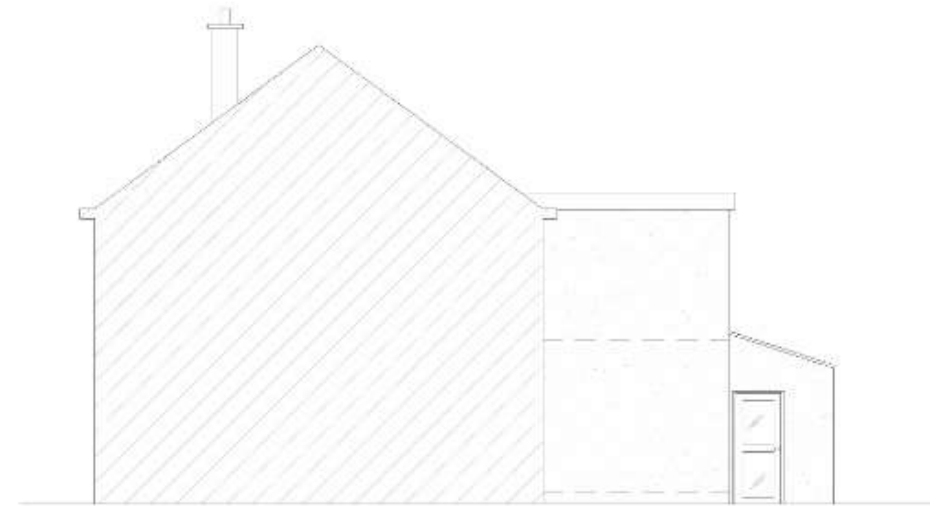
SOUTH ELEVATION



NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION

Planning Applications

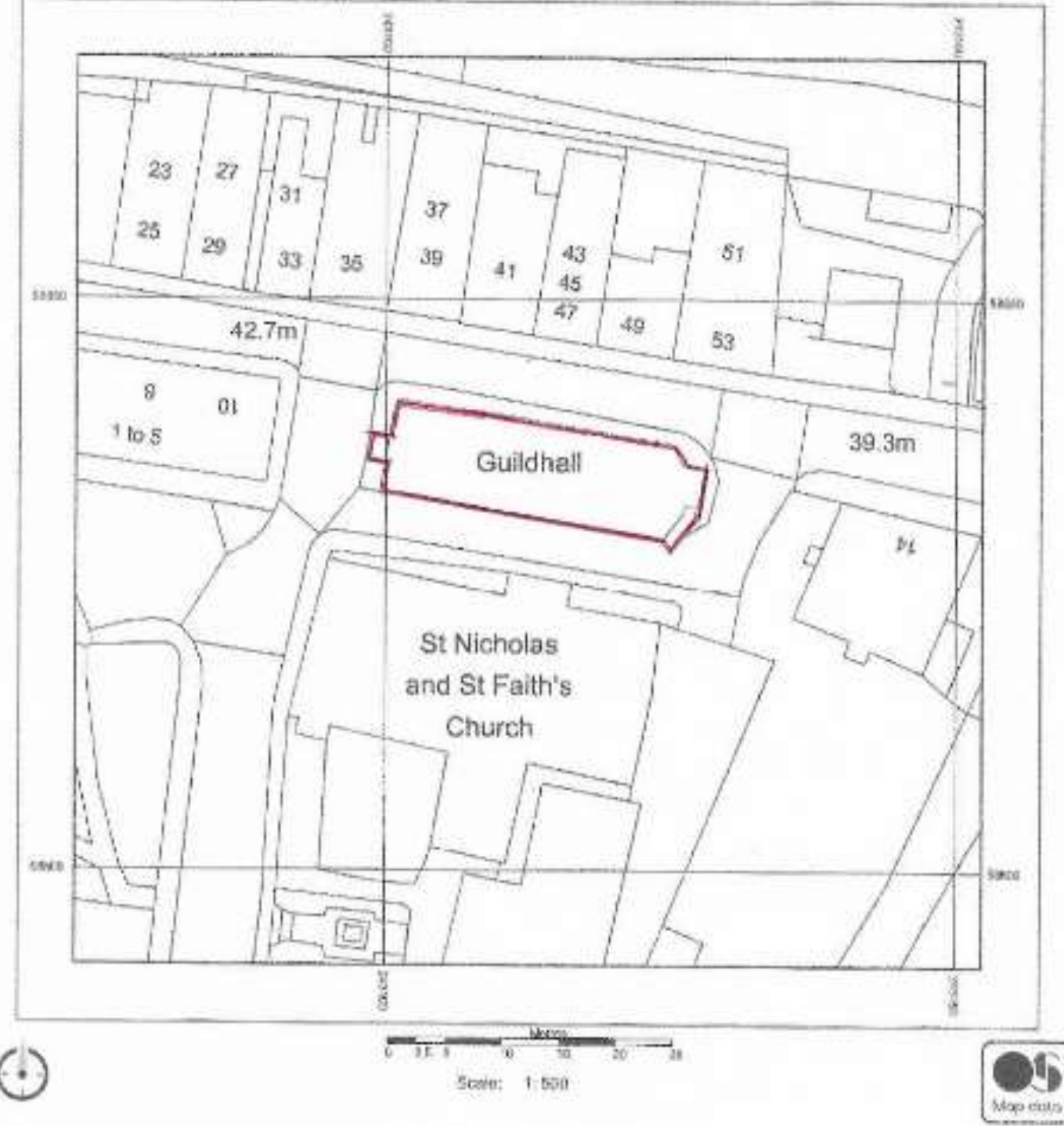
8c

PA21/01433 – Saltash Town Council, The Guildhall.

Installation of LED lighting to north and west elevations.

Response Date: 19.03.21.

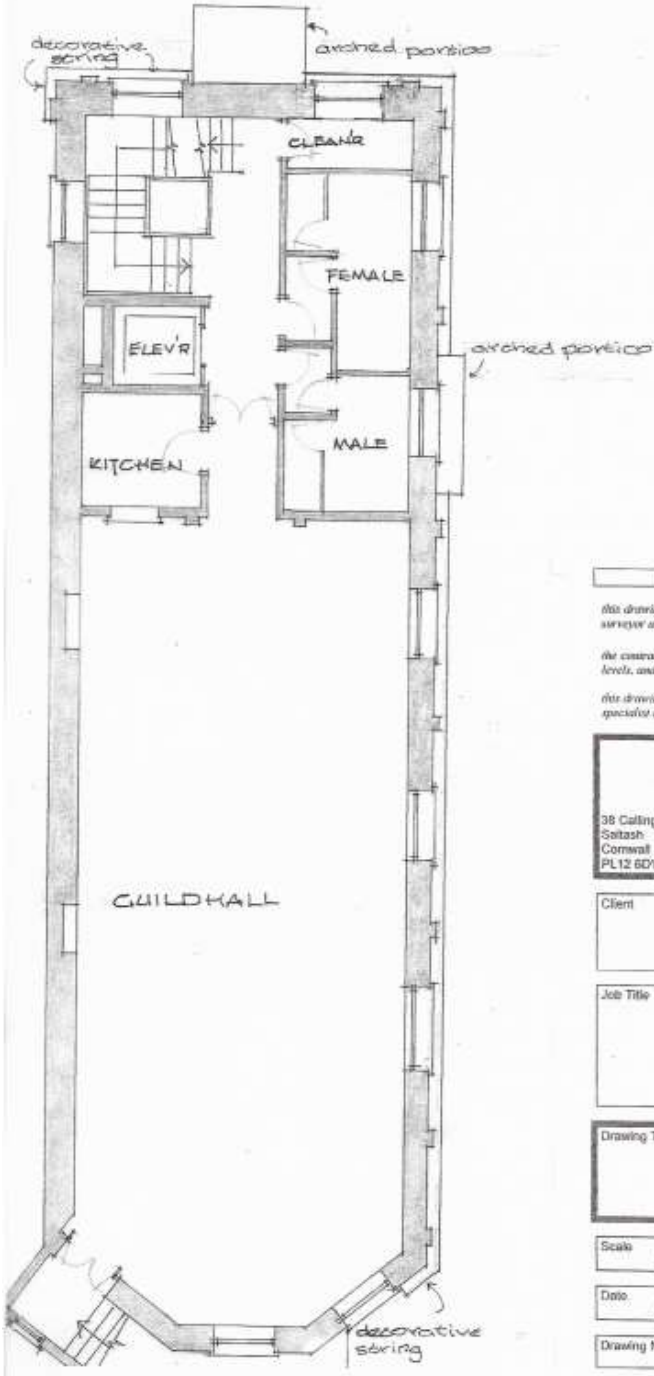
PA21/01433
Site & Block
Plan



PA21/01433

First Floor

Plan Existing



Date	Revisions
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the contractor is to check and verify all building and site dimensions, levels, and sewer invert levels at connection point before work starts

this drawing must be read with and checked against any structural or specialist drawings provided

GEOFF PEGGS
AssocRICS
Building Surveyor

38 Collington Road
Saltash
Cornwall
PL12 6DY

Tel 01752 847706

Client

Saltash Town Council

Job Title

The Guildhall
Lower Fore Street
Saltash

Drawing Title

First Floor Plan
existing

Scale

1:100 @ A4

Date

January 2021

Drawn by

GP

Drawing No

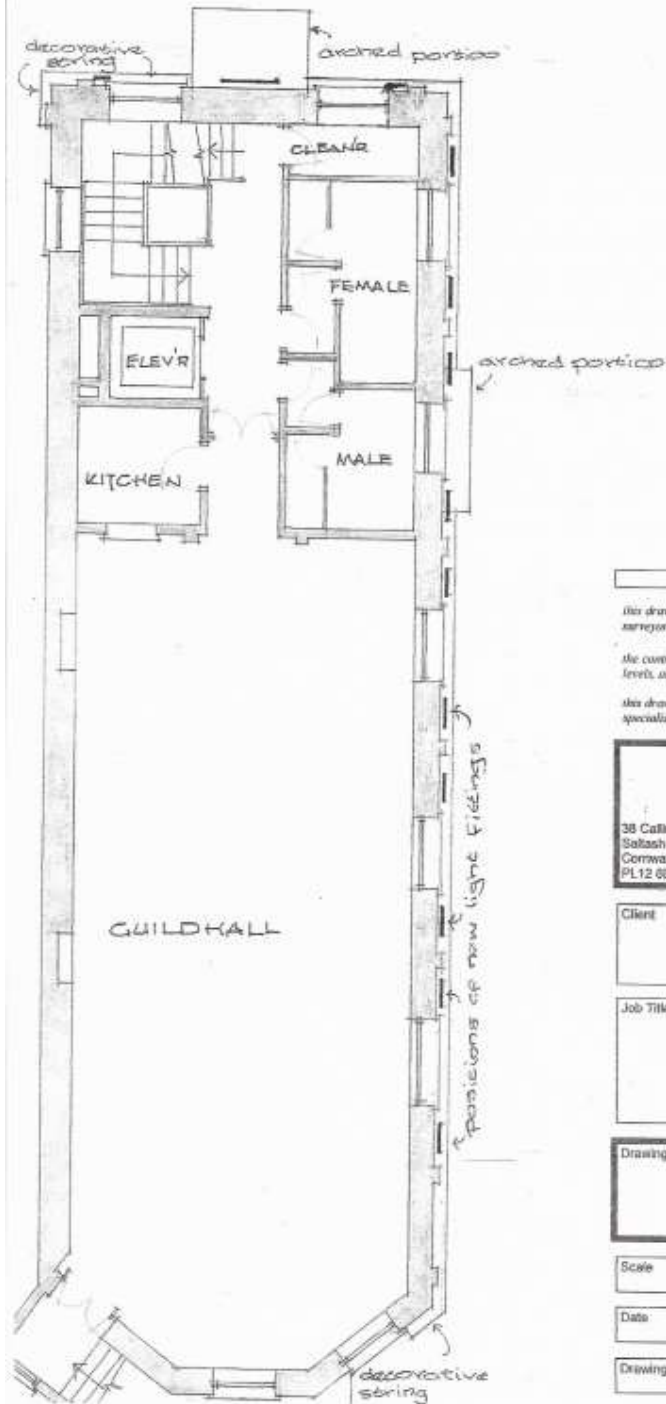
21/01/2

Rev

PA21/01433

First Floor

Plan Proposed



Date	Revision
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this drawing and the building works depicted are the copyright of the surveyor and may not be reproduced except by written permission

the contractor is to check and verify all building and site dimensions, levels, and sewer invert levels at connection points before work starts

this drawing must be read with and checked against any structural or specialist drawings provided

<p>GEOFF PEGGS AssocRICS Building Surveyor</p> <p>38 Callington Road Saltash Cornwall PL12 8DY</p> <p>Tel 01752 847706</p>

<p>Client</p> <p>Saltash Town Council</p>

<p>Job Title</p> <p>The Guildhall Lower Fore Street Saltash</p>

<p>Drawing Title</p> <p>First Floor Plan proposed</p>

<p>Scale</p> <p>1:100 @ A4</p>

<p>Date</p> <p>January 2021</p>	<p>Drawn by</p> <p>GP</p>
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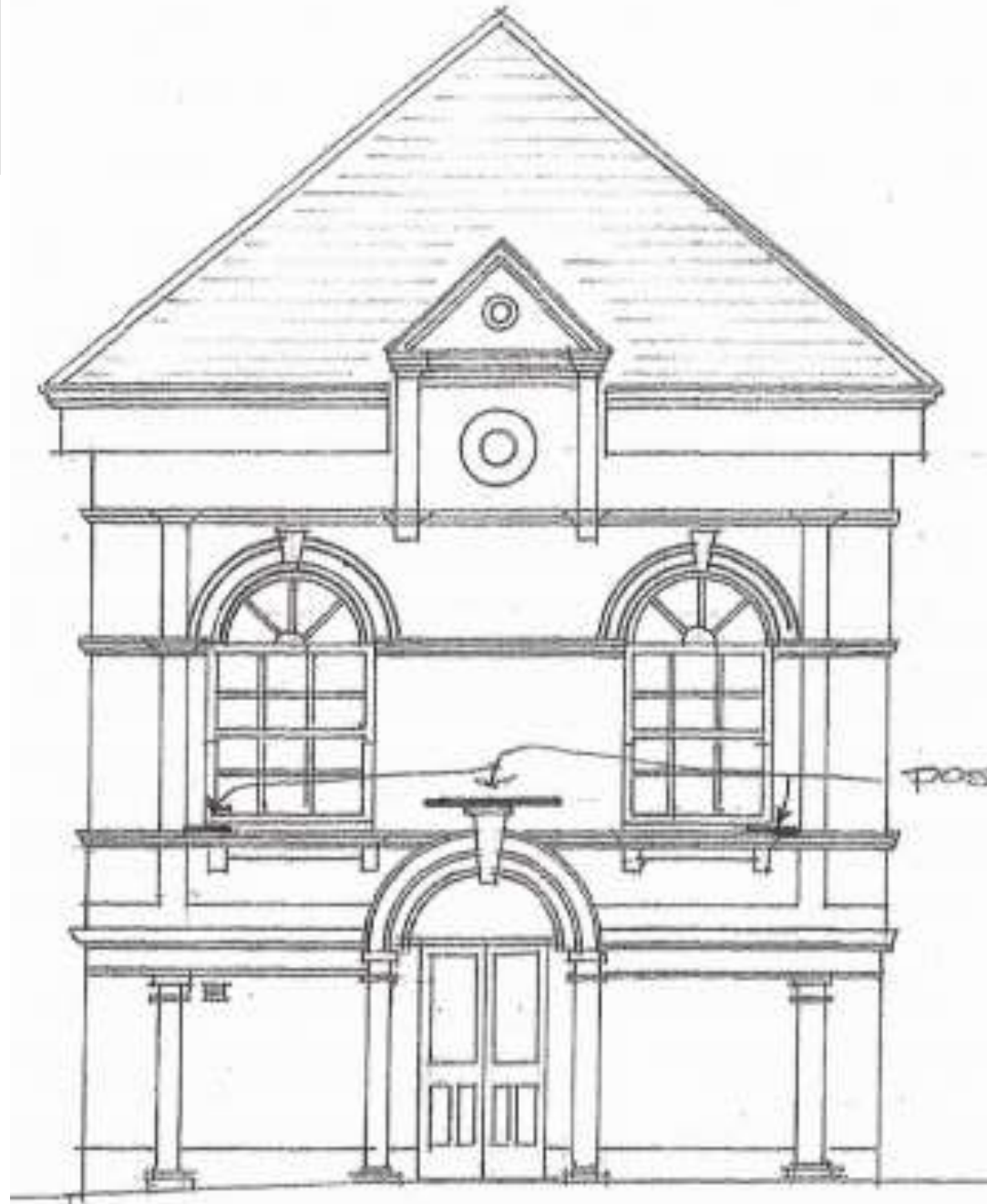
<p>Drawing No</p> <p>21/01/3</p>	<p>Rev</p>
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PA21/01433
North (Lower Fore
Street) Elevation
Proposed

Scale	1:100 @ A4	
Date	January 2021	Drawn by GP
Drawing No	21/01/6	Rev



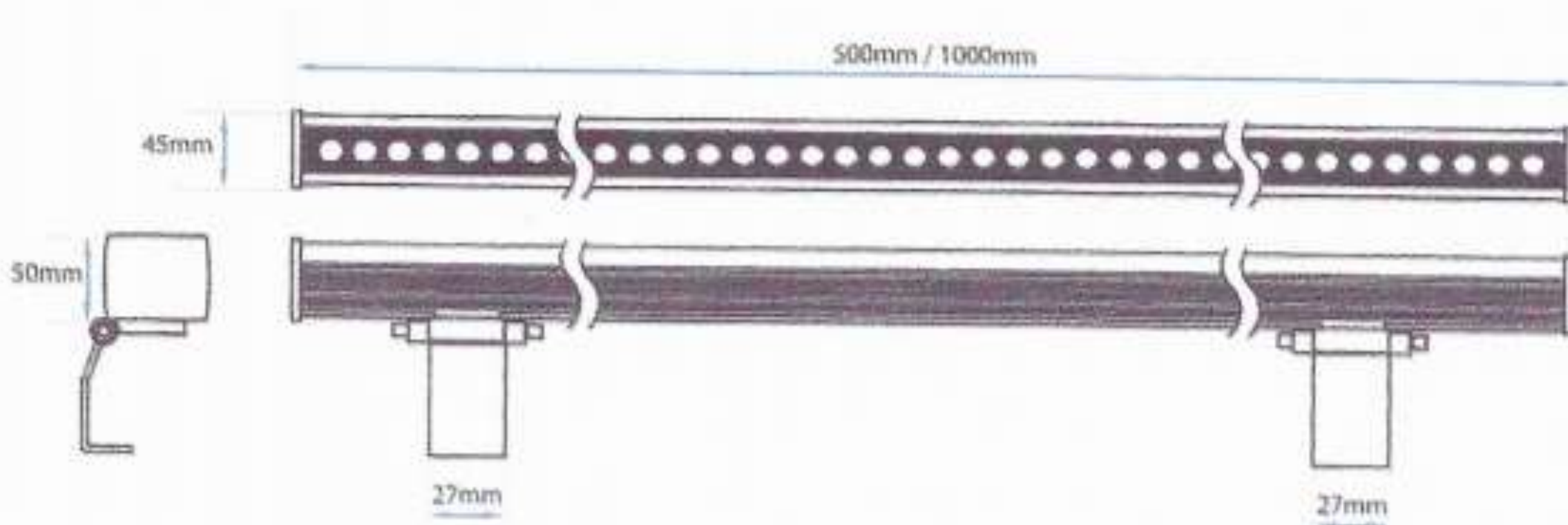
PA21/01433
West (Station Road)
Elevation Proposed



positions of new light fittings

Scale	1:100 @ A4		
Date	January 2021	Drawn by	GP
Drawing No	21/01/8	Rev	

Mechanical Dimensions (Unit mm)





Arcus II LED Wall Washers

Product categories

[LED Wall Washers](#)

<https://www.surelight.com/product-category/led-wall-washers>

Product Code

ARC2

Solutions

Art & Culture External Lighting

Cookies & Privacy

This website uses cookies to ensure you get the best experience on our website.

Description

Additional information

[More information \(/privacy/\)](#) [Accept](#)

Planning Applications

8c

PA21/01434 – Saltash Town Council, The Guildhall.

Listed Building Consent for the installation of LED lighting to north and west elevations.

Response Date: 19.03.21.

Plans as for PA21/01433 above.

Planning Applications

8c

PA21/02182 – Land at Broadmoor Farm Stoketon

Application for non material amendment following grant of planning permission PA19/08250 namely various minor amendments

Response date: 18/03/21

PA21/02182 - Excerpt from Application Form

5. Description of Your Proposal

Please provide the description of the approved development as shown on the decision letter

Approval of Reserved Matters for layout, means of internal access, appearance and landscaping pursuant to Phase 0A works only. Details following outline application PA14/02447 dated 13/10/17

Reference number: PA19/08250

Date of decision 31/07/2020

Planning Portal Reference: PP-09474701

5. Description of Your Proposal

What was the original application type?

Outline planning permission: All matters reserved

For the purpose of calculating fees, which of the following best describes the original application type?

- ☐ Householder development: Development to an existing dwelling-house or development within its curtilage
- ☒ Other: anything not covered by the above category

Proposed Non-Material Amendments

The amendments proposed are summarised as follows:

- 1 Minor adjustment to the 50m flexible zone (running through the southern housing parcel) for underground services and temporary access/servicing route to foul pumping station. As previously, this is indicative only under Phase 0A and the precise alignment within this zone is to be determined by the Phase 1 Reserved Matters
- 2 Junctions from spine road are subject to minor adjustments to align with Phase 1 layouts
- 3 Adjusted locations for pedestrian and cycle crossings over spine road, to connect with Phase 1 layouts (including the main crossing from the Phase 0A play space (footpath/cycleway now to its west) heading south to continue the link along the western edge of the woodland belt)
- 4 Addition of/adjustment to proposed mounding to east of the play space
- 5 Bus stop moved marginally eastwards to accommodate layouts
- 6 Spine road lighting layouts and tree positions adjusted to accommodate the above changes
- 7 Routes through Carkeel Green and associated planting adjusted to align with Phase 1 and cycle/pedestrian link running north/south to spine road
- 8 General hard and soft landscaping details adjusted to align with above changes
- 9 Drainage details reflect previous requests from the Local Lead Flood Authority during determination of the approved Phase 0A Reserved Matters application

Reference should be made to the drawings as set out at Schedule 1 for full details of the amendments proposed under this application. The Mini Design Code, as required to accompany the Reserved Matters under condition 12 of the permission, has also been updated to reflect these amended drawings, for consistency and completeness only, and accompanies the NMA application.

Assessment

These amendments have been reviewed by Lichfields in the context of the National Planning Practice Guidance (NPPG) and are considered non-material to the approved development.

They have also been reviewed in the context of Cornwall Council's guidance (<https://www.cornwall.gov.uk/environment-and-planning/planning/planning-advice-and-guidance/revisions-and-amendments-to-planning-applications/>) set out in italics below, with a brief assessment by Lichfields noted alongside each:

“Each non-material amendment application will be considered on its merits. If it meets the following criteria, it is likely that the proposed change can be dealt with by this procedure:

- 1 There would be no change to the application site boundary and the proposal would be located within it (red line boundary)*

Confirmed. This is an amendment to approved Reserved Matters, which sit within the approved site/red line boundary under permission ref. PA14/02447. There is no change to this boundary. There is a minor adjustment sought to the Phase 0A flexible 50m servicing zone, but this sits within the wider site boundary and was always an indicative alignment in any case under Phase 0A.

- 2 The amendment would not conflict with development plan policies or other Government guidance*

Confirmed. The NMAs do not generate any material changes which would conflict with policy.

- 3 *There would be no conflict with any conditions on the planning permission*
Confirmed. The amended Reserved Matters accord with the conditions of the outline permission.
- 4 *The proposal would not make worse any concerns raised by third parties when the original planning permission was considered*
Confirmed. There would be no impact on any concerns raised during the determination of the original planning permission.
- 5 *The approved footprint/siting of the building will not be moved in any direction by more than 1 metre*
Confirmed. The development will continue to accord with the approved parameters. No buildings are proposed.
- 6 *The proposal would not result in an extension to development already approved*
Confirmed. There is no extension to development.
- 7 *The height/volume of the building or extension would not be increased or significantly reduced*
Confirmed. No buildings/extensions are proposed.
- 8 *The amendments must not result in a fundamental change in the design of the building*
Confirmed. No buildings are proposed. The design approach to the infrastructure, as set out in the Mini Design Code, is as approved.
- 9 *The change does not amount to new works or elements which have not been considered by any environmental statement submitted with the original application*
Confirmed.
- 10 *Amendments to windows/doors/openings must not have any overlooking impact on neighbouring properties".*
Confirmed – not applicable.

The above assessment against Cornwall Council's guidance clearly demonstrates that the amendments sought are non-material to the approved Phase oA Reserved Matters and can therefore be appropriately processed under Section 96a of the Town and Country Planning Act 1990 without delay.

Re-Discharge of Conditions

The above NMAs to Phase 0A require minor adjustments to be made to the hard and soft landscaping details approved by Cornwall Council under condition 24. The principles and approach have not changed, but minor drawing updates are required to ensure these fully align with the details submitted under the Phase 0A Reserved Matters. These adjustments are non-material to the scope of the information already approved; they are therefore being provided as a regularisation process only. We trust they will be reviewed alongside the s96a NMA and extant approved details and expediently processed on this basis.

No amendments are required to details already approved under the other Phase 0A conditions.

Summary

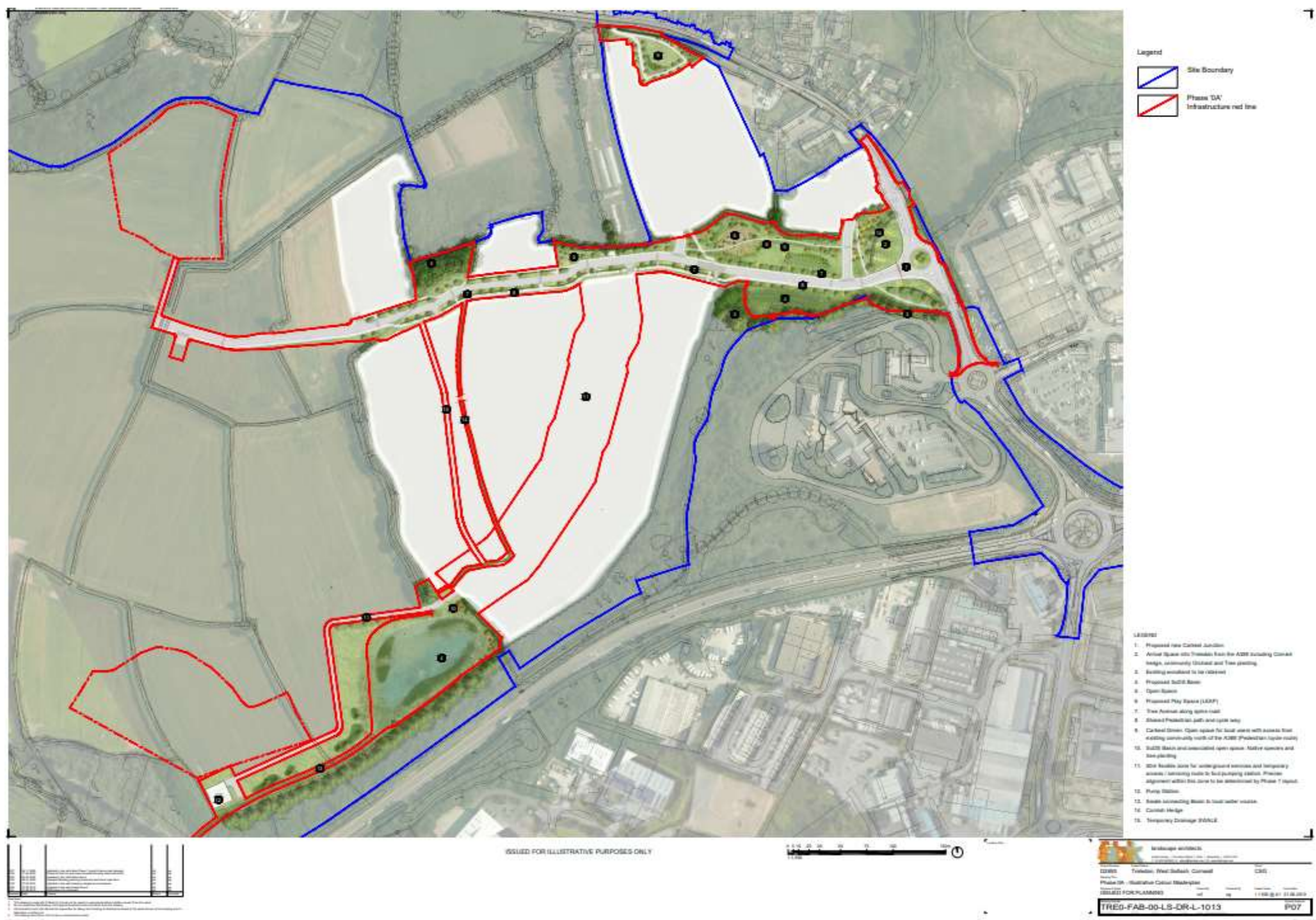
As set out above, minor adjustments are required to the infrastructure approved under the Phase 0A Reserved Matters, along with the associated landscaping details, to align these with the amended Phase 1 layouts. These have been discussed in detail with Cornwall Council via the pre-application advice process. None of the proposed amendments have a material effect on the development as approved by Cornwall Council under PA19/08250 and they are therefore non-material in nature. They also fall within the approved outline parameters of permission ref. PA14/02447. The approval of this s96a application would have no effect on the conclusions reached by the Council in granting the Phase 0A Reserved Matters in July 2020. Further, the re-discharge of the landscaping details under condition 24 would have no effect on the conclusions reached when approving these details under ref. PA19/08251; this is a regularisation process only to align with the amended Reserved Matters. The proposals continue to maintain the highest quality of design and CEG is keen to proceed with construction of this critical initial site infrastructure at the earliest opportunity.

We look forward to receiving confirmation that the enclosed applications have been validated and we trust they can be processed concurrently within the 28-day determination period for a s96a NMA application.

PA21/02182
Phase OA
Sheet Layout
Location Plan



PA21/02182
Illustrative
Colour
Master Plan



Planning Applications

8c

PA21/01757 – Land at Broadmoor Farm Stoketon

Reserved matters application for Phase 1, which comprises: the construction of 387 dwellings, public open space, landscape planting, pedestrian, cycle and vehicular links, 1 substation and one governor and associated infrastructure. (Details following outline application PA14/02447 dated 13.10.2017) Resubmission of application no. PA19/08297 dated 09/04/20.

Response Date: 19.03.21.

This topographic map illustrates the Carkeel area, featuring contour lines and various land parcels. A large area is outlined in red, indicating a proposed development boundary. Within this red boundary, a smaller area is outlined in green, likely representing a specific development phase or a different land use. The map shows existing infrastructure, including roads, buildings, and a railway line. Key locations labeled include 'Carkeel', 'Carkeel Farm', 'Gibson's Service Area', and 'Moorlands Trading Estate'. The map also shows a river or stream flowing through the area, and a road labeled 'A10'. The overall layout suggests a planned development project in a rural or semi-rural setting.

Date	Dem	Clad
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■ The Boundary



DAVID WILSON HOMES
WHERE QUALITY LIVES



Project
Treledan,
Saltash
Drawing Title
Site Location Plan

Date
10.12.20
Project No.
26865

Scale
1:2500 ● A3
Drawing No
TRF-PII-01

Drawn by: CB
Check by: JK
Revisions: -

BARTON
WILLMORE

Town Planning • Master Planning & Urban Design • Architecture •
Landscape Planning & Design • Infrastructure & Environmental Planning •
Heritage • Graphic Communication •
Communications & Engagement • Development Economics

bartonwillmore.co.uk



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[illegible]

Offices at Birmingham, Bristol, Cambridge, Cardiff, Exeter, Edinburgh,
Glasgow, Leeds, London, Manchester, Newcastle, Nottingham, Oxford,
Sheffield, Southampton, Swansea, and York.

This aerial map shows a residential development with several key features and labels:

- Top Left:** A road labeled "A 388" and a distance marker of "80.8m".
- Top Right:** A road labeled "LB" and a distance marker of "77.4m".
- Right Side:** A road labeled "70.0m".
- Central Area:** A large residential complex with multiple buildings, some of which are highlighted with colored dots (orange, yellow, green, blue, pink).
- Bottom Left:** A road labeled "A 388" and a distance marker of "80.8m".
- Bottom Right:** A road labeled "70.0m".

The map also shows various other features such as roads, paths, and building footprints.

GARATT
 GROUP LTD



DAVID WILSON HOMES
 BUILDING THE FUTURE TODAY

Project:
 Trofedan, Phase 1
 Saltash, Cornwall

Planning Title:
 Planning Layout
 Sheet 1 of 3

Size **Scale**
 20,000 sq ft 1:500 (A1)

Project No: **Drawn:**
 39865 TRE-PL-011

Client Ref: **Check by:**
 710932 JWC

Revision:
 G

**BARTON
 WILLMORE**

Development of Trofedan Phase 1 will consist of a residential development consisting of 100 houses & 100 flats & a 100 car parking spaces.

© Barton Willmore 2014

trofedanwillmore.co.uk



PA21/01757
Planning
Layout
Sheet
Phase 1
2/3



PA21/01757
Planning
Layout
Sheet
Phase 1
3/3



PA21/01757
Planning
Layout Site
Wide



Detailed Financials for current asset categories				
Account	Description	2019	2018	Chg
A	Current assets reported	20,000.00	20	
B	1. Engineering supplies			
C	2. Client materials received for job			
D	3. Materials received, incl. P&M	20,000.00	20	
E	4. Materials received			
F	5. 20% off invoice			
G	6. Total decrease to amount from 2000 to 2018	20,000.00	21	
H	7. Engineering supplies			
I	8. 10% decrease from 2000			
J	9. Per. amount	20,000.00	21	
K	10. To 2000 plus granted			
L	11. 4.000 to 2000			
M	12. Engineering supplies	20,000.00	21	
N	13. 20% off invoice			
O	14. 20% off invoice			
P	15. 20% off invoice			
Q	16. 20% off invoice			
R	17. 20% off invoice			
S	18. 20% off invoice			
T	19. 20% off invoice			
U	20. 20% off invoice			
V	21. 20% off invoice			
W	22. 20% off invoice			
X	23. 20% off invoice			
Y	24. 20% off invoice			
Z	25. 20% off invoice			
AA	26. 20% off invoice			
AB	27. 20% off invoice			
AC	28. 20% off invoice			
AD	29. 20% off invoice			
AE	30. 20% off invoice			
AF	31. 20% off invoice			
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AI	34. 20% off invoice			
AJ	35. 20% off invoice			
AK	36. 20% off invoice			
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AT	45. 20% off invoice			
AU	46. 20% off invoice			
AV	47. 20% off invoice			
AW	48. 20% off invoice			
AX	49. 20% off invoice			
AY	50. 20% off invoice			
AZ	51. 20% off invoice			
BA	52. 20% off invoice			
BB	53. 20% off invoice			
BC	54. 20% off invoice			
BD	55. 20% off invoice			
BE	56. 20% off invoice			
BF	57. 20% off invoice			
BG	58. 20% off invoice			
BH	59. 20% off invoice			
BI	60. 20% off invoice			
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BK	62. 20% off invoice			
BL	63. 20% off invoice			
BM	64. 20% off invoice			
BN	65. 20% off invoice			
BO	66. 20% off invoice			
BP	67. 20% off invoice			
BQ	68. 20% off invoice			
BR	69. 20% off invoice			
BS	70. 20% off invoice			
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BU	72. 20% off invoice			
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BX	75. 20% off invoice			
BY	76. 20% off invoice			
BZ	77. 20% off invoice			
CA	78. 20% off invoice			
CB	79. 20% off invoice			
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CD	81. 20% off invoice			
CE	82. 20% off invoice			
CF	83. 20% off invoice			
CG	84. 20% off invoice			
CH	85. 20% off invoice			
CI	86. 20% off invoice			
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CM	90.			

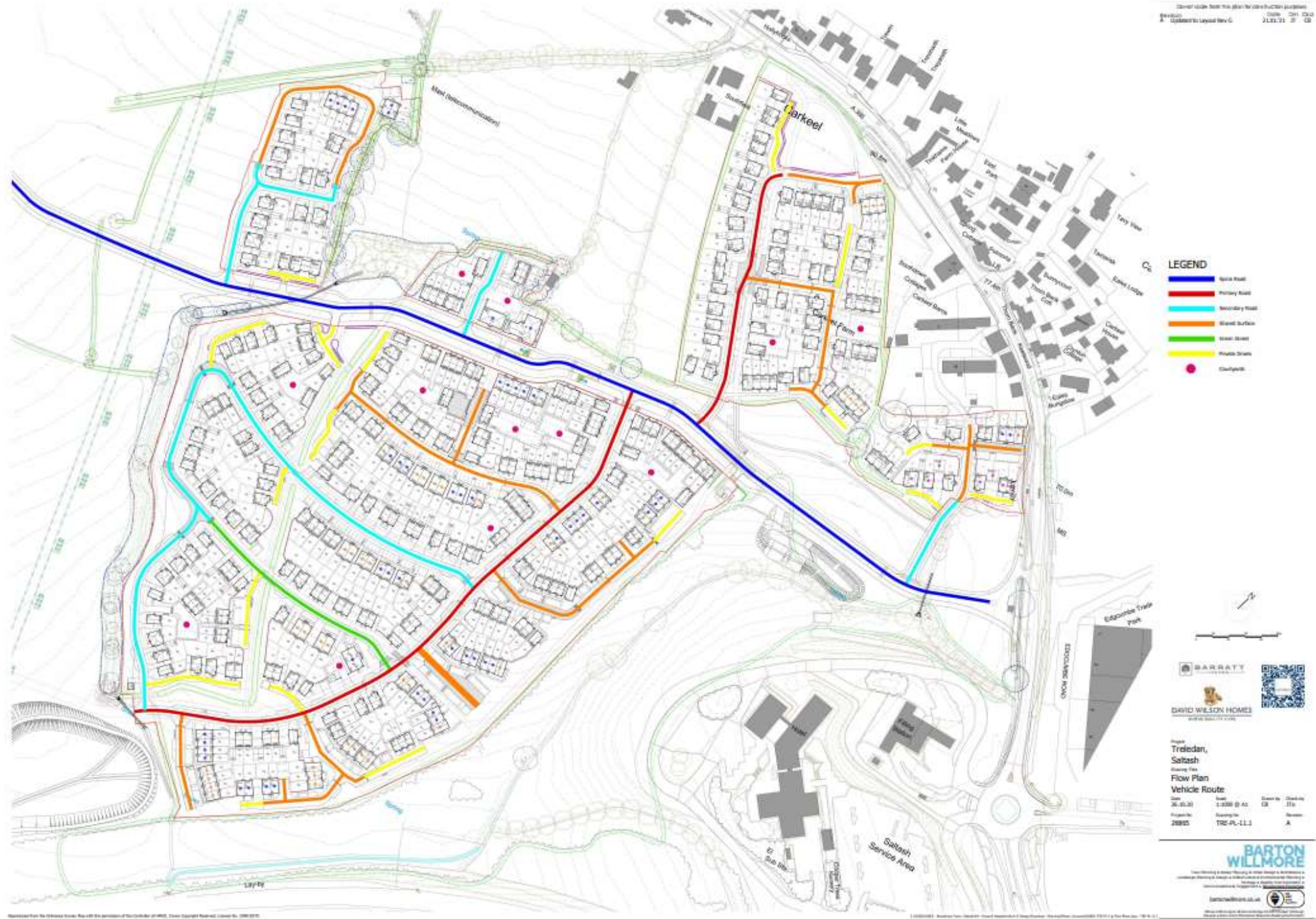
- [illegible]



PA21/01757

Flow Plan

Vehicles



PA21/01757
Flow Plan
Cycles



The map shows a residential development area with various streets and landmarks. Key features include:

- Streets:** Carkeel, A St, B St, C St, D St, E St, F St, G St, H St, I St, J St, K St, L St, M St, N St, O St, P St, Q St, R St, S St, T St, U St, V St, W St, X St, Y St, Z St.
- Landmarks:** Carkeel, A St, B St, C St, D St, E St, F St, G St, H St, I St, J St, K St, L St, M St, N St, O St, P St, Q St, R St, S St, T St, U St, V St, W St, X St, Y St, Z St.
- Other Features:** A large central residential area, a smaller residential area to the north, and a commercial/industrial area to the east. The map also shows a river or stream flowing through the area, and a large parking lot or open space to the south.

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The Barton Group

[illegible][illegible]

PA21/01757 Barratt Street Scene



STREET ELEVATION AA



STREET ELEVATION BB



STREET ELEVATION CC



STREET ELEVATION DD



KEY PLAN

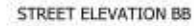
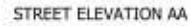


Project:
Trelidan
Saltash
Drawing Title:
Street Scene Elevations

Date: 02.07.23	Scale: 1:500 (S&L)	Drawn by: JT	Checked by: CB
Project No: 28803	Drawing No: TFS-05-02	Revision: A	



The status of this drawing cannot be assured			
Revision	Date	Des.	Cal.
A (Issued) to latest Planning (as per materials and house types.	22.03.23	CH	JT



DAVID WILSON HOMES
Where Quality Lives

Project
Trefedan
Saltash
Drawing Title
Street Scene Elevations

Date	Quota	Drawn by	Checked by
11.09.20	2,000 000	CP	IT
Printed By	Drawing No	Reason	
26865	TBE-55-01	A	

BARTON
WILLMORE

tsandersonwilliams.co.uk

1. Public Comment - 26.02.21.

Storage of Waste and Recycling:

Better to service containment for individual properties rather than large communal wheeled bins/bin stores as this reduces fly-tipping etc.

Responsibility for fly-tipping will fall to the developer not Cornwall Council.

If providing bin stores contact from developer required to enable Biffa Environmental Municipal Services to assess to ensure they can service proposed bin areas/stores.

2. Public Objection - 28.02.21.

- **Highway Issues: traffic generation, vehicular access.**
- **Deficiencies in social facilities, spaces in school, local GP surgeries.**
- **Loss or effect on trees.**

Planning Applications

8c

PA21/00082 – 12 Gallacher Way Saltash PL12 4UT

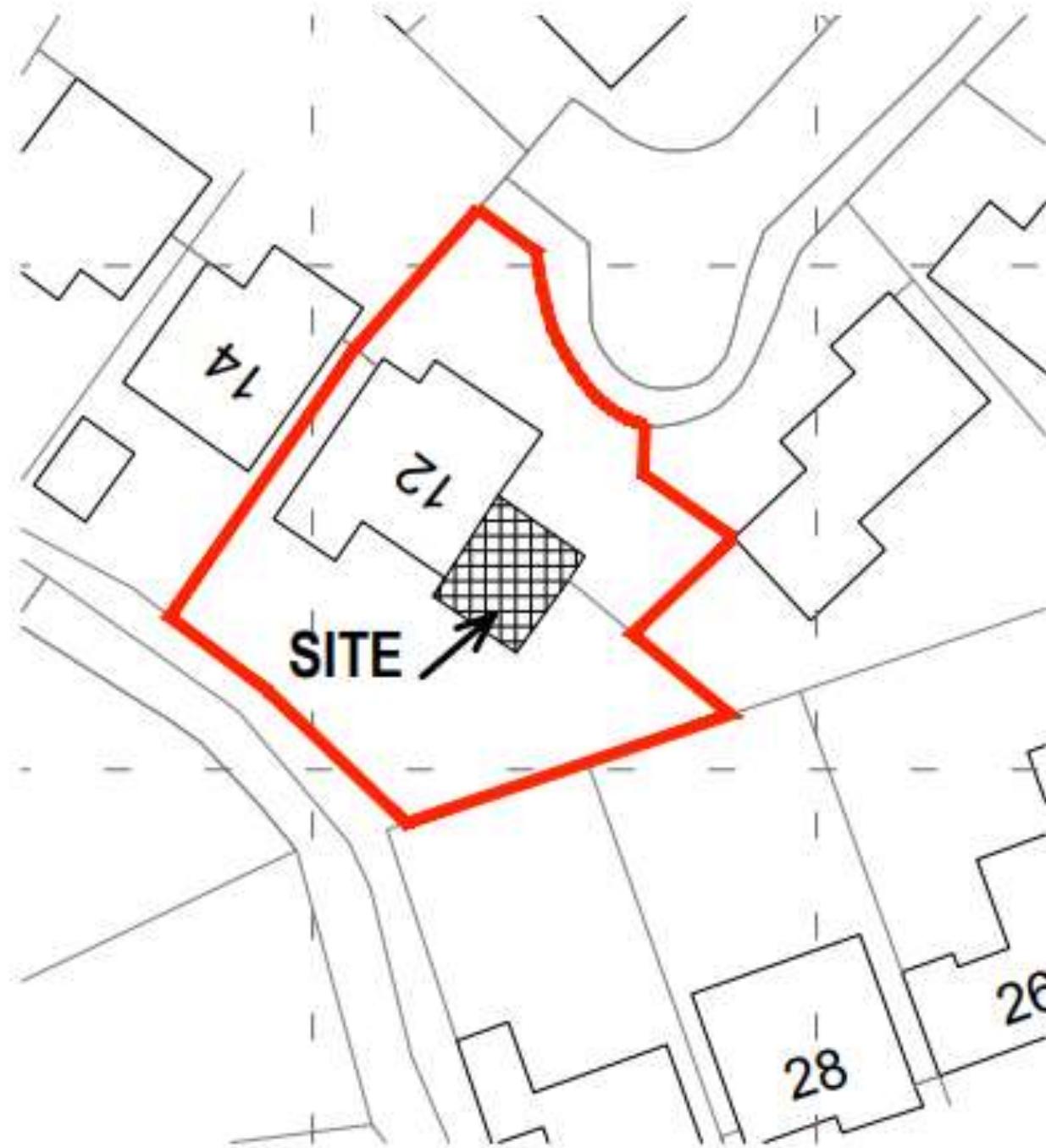
Retention of conversion of double garage into an additional bedroom with ensuite with no amendments to size.

Response Date: 23.03.21.

PA21/00082
Location Plan



PA21/00082
Block Plan



PA21/00082 - Before & After Pictures

Conversion of Double Garage into Bedroom with En-suite Before and After Pictures

Before



After



Front of the property (NE: 39°)

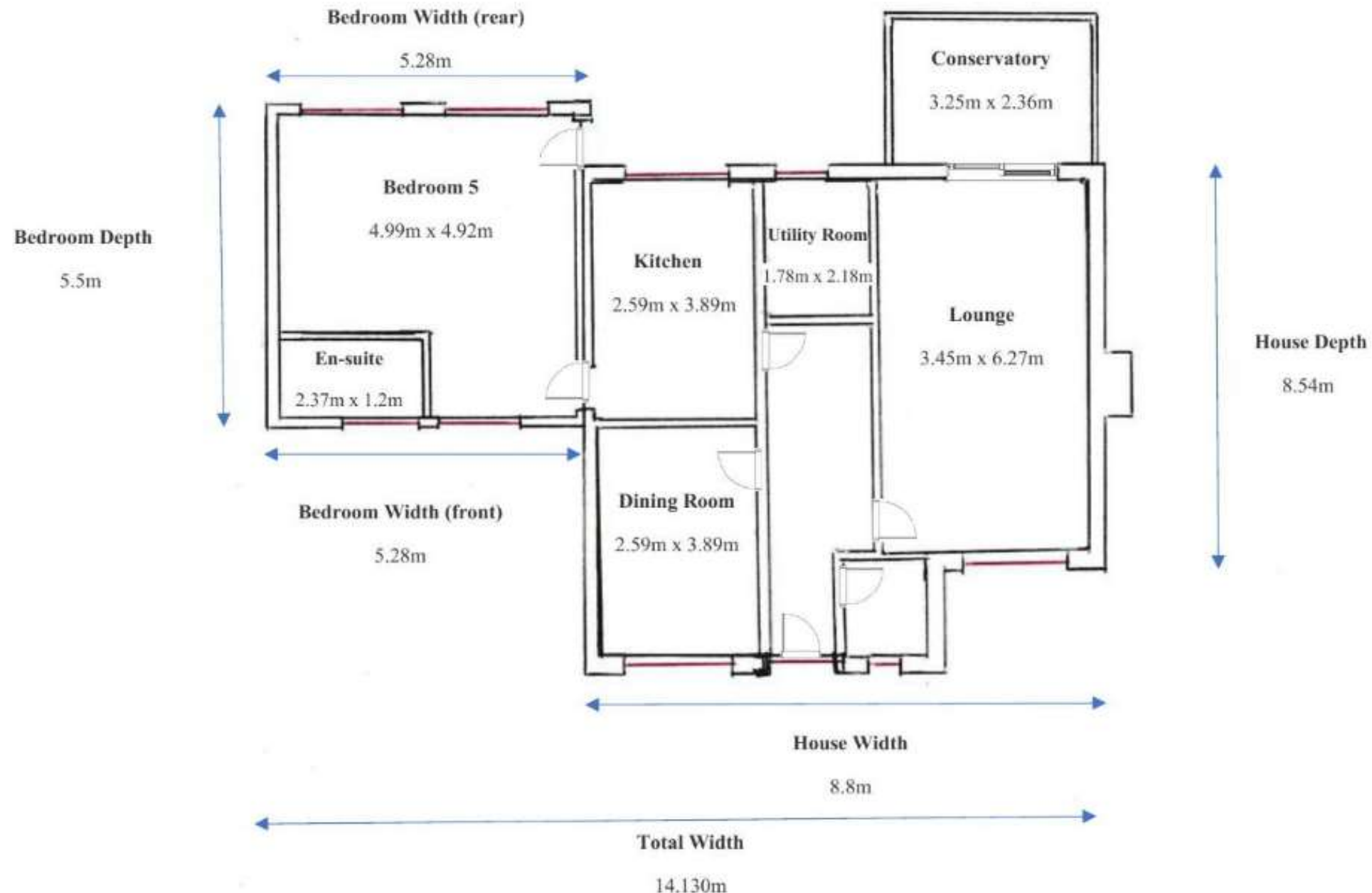


Rear of the property (SW: 215°)



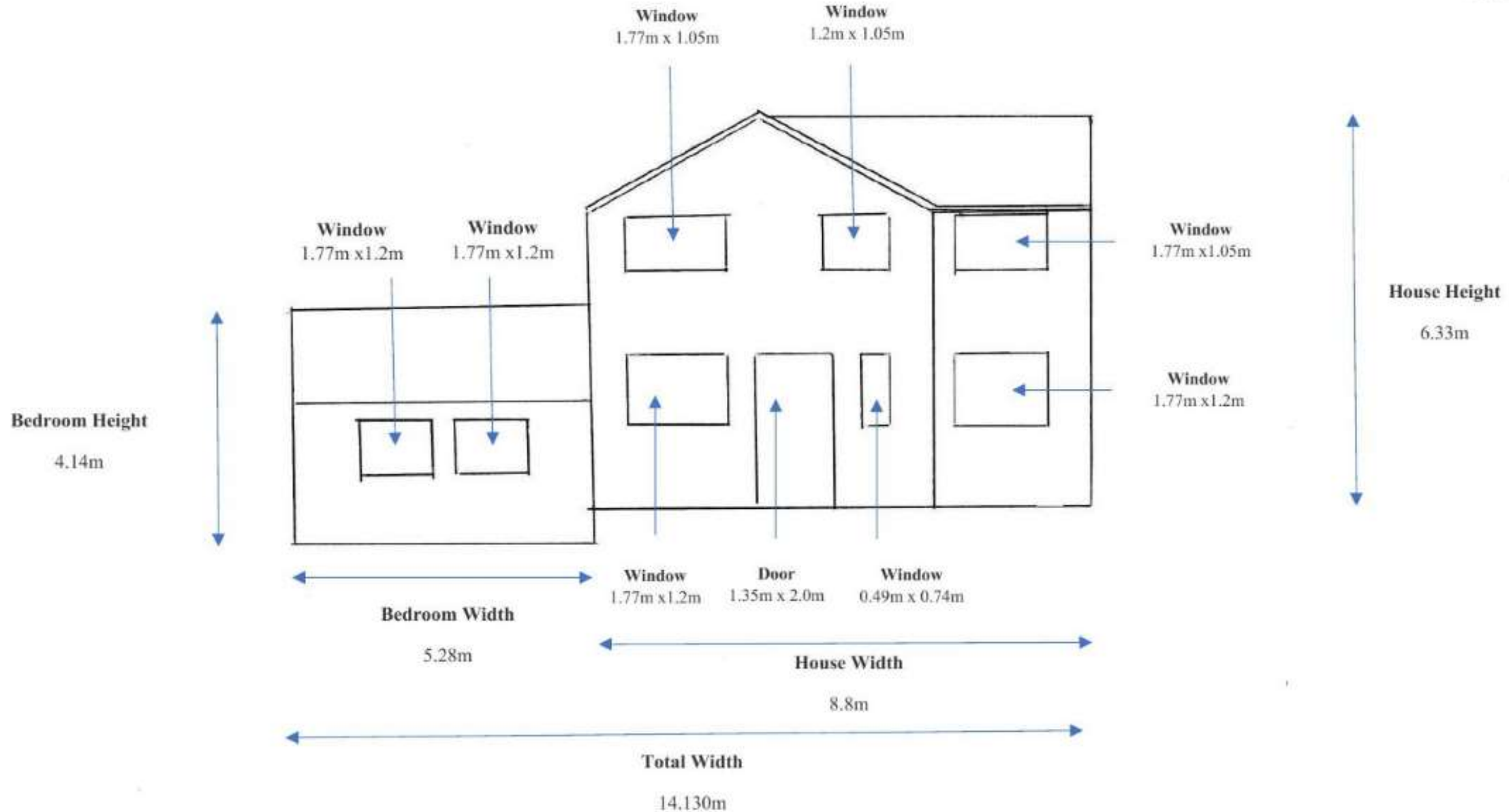
PA21/00082 - Floor Plan of completed project

Scale 1:100



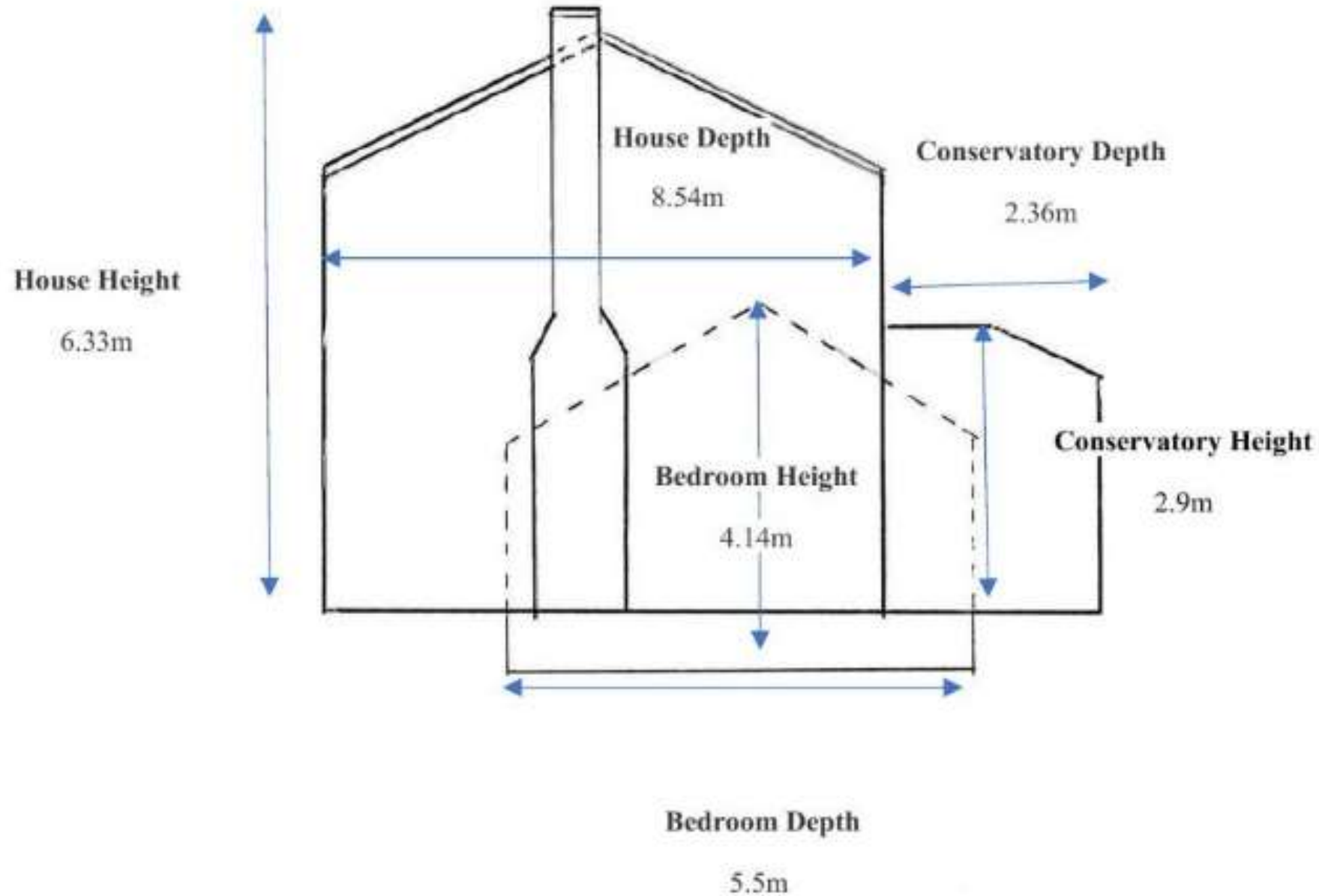
PA21/00082 – North East Elevation – Completed building work

Front of the property
(NE: 39°)
Scale 1:100



PA21/00082 – North West Elevation – Completed Building Work

Side of the property
(NW 309°)
Scale 1:100

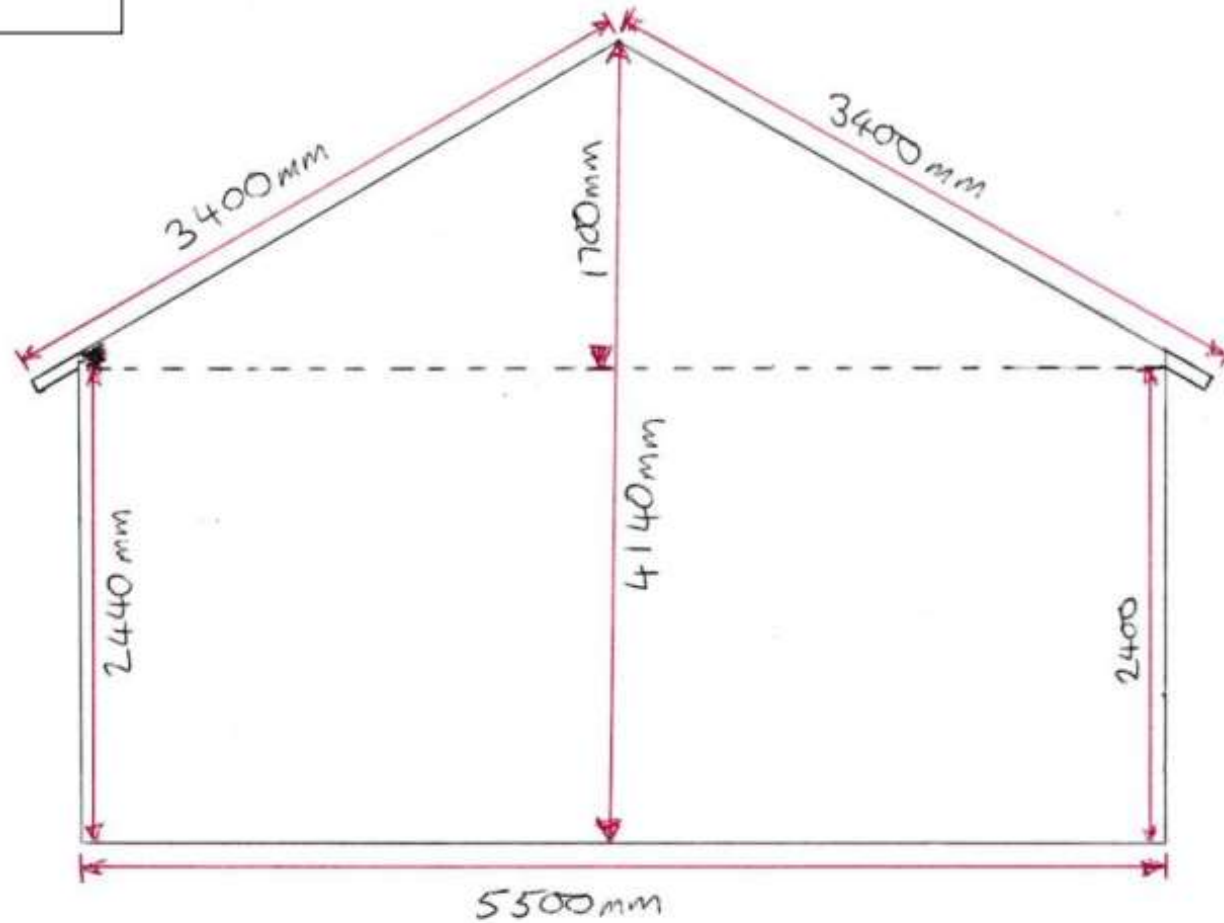


PA21/00082

PP-09075309: 12 Gallacher Way
Conversion of Double Garage into Bedroom with En-suite
Plans of Proposed Building Work

**Side profile of
Garage**

*No changes under
proposal*

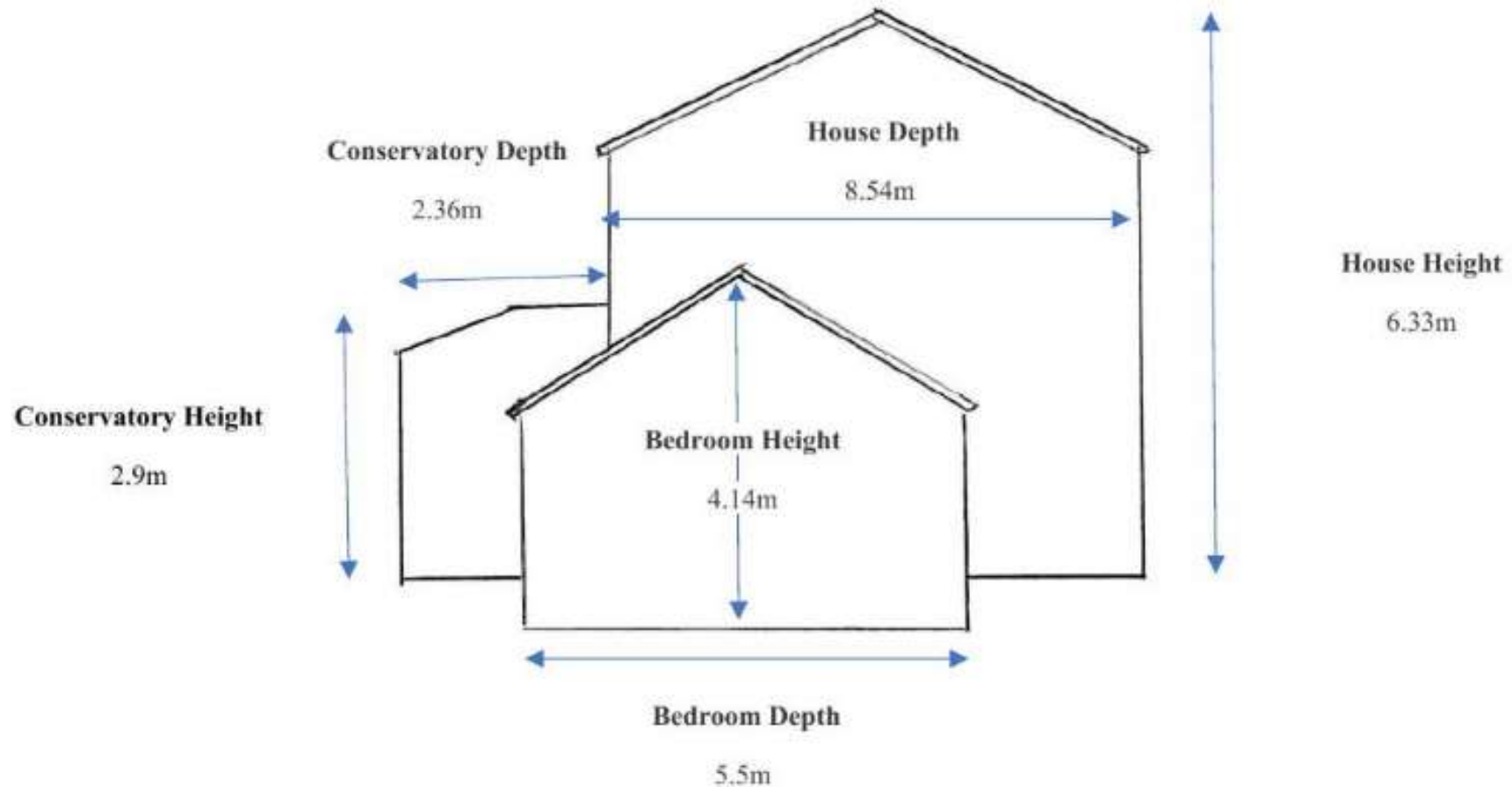


Scale 1:30

PA21/00082
South East
Elevation

PA-21/00082: 12 Gallacher Way
Conversion of Double Garage into Bedroom with En-suite
Drawings of Completed Building Work

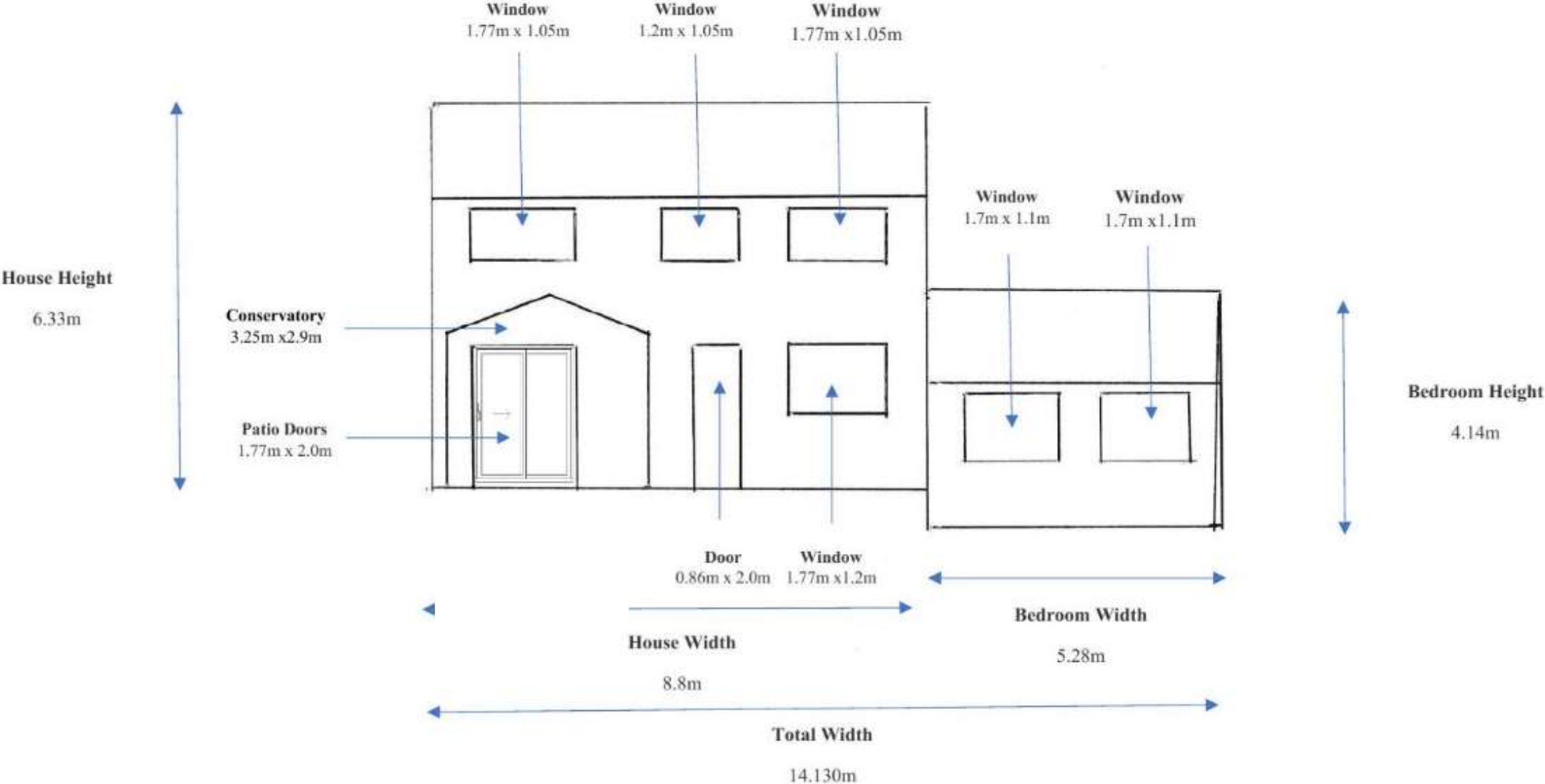
Side of the property
(SE 129°)
Scale 1:100



PA21/00082
South West
Elevation

PA-21/00082: 12 Gallacher Way
Conversion of Double Garage into Bedroom with En-suite
Drawings of Completed Building Work

Rear of the property
(SW: 219°)
Scale 1:100



Planning Applications

8c

PA21/00980 – Longlands Bungalow Longlands Lane

Proposed Extension.

Response Date: 30.03.21.

PA21/00980

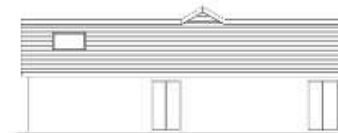
Location & Block Plan & Existing Floor Plan & Elevations



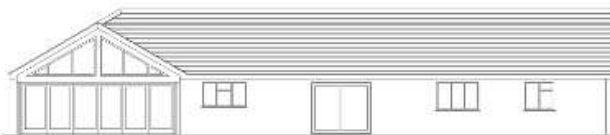
WEST



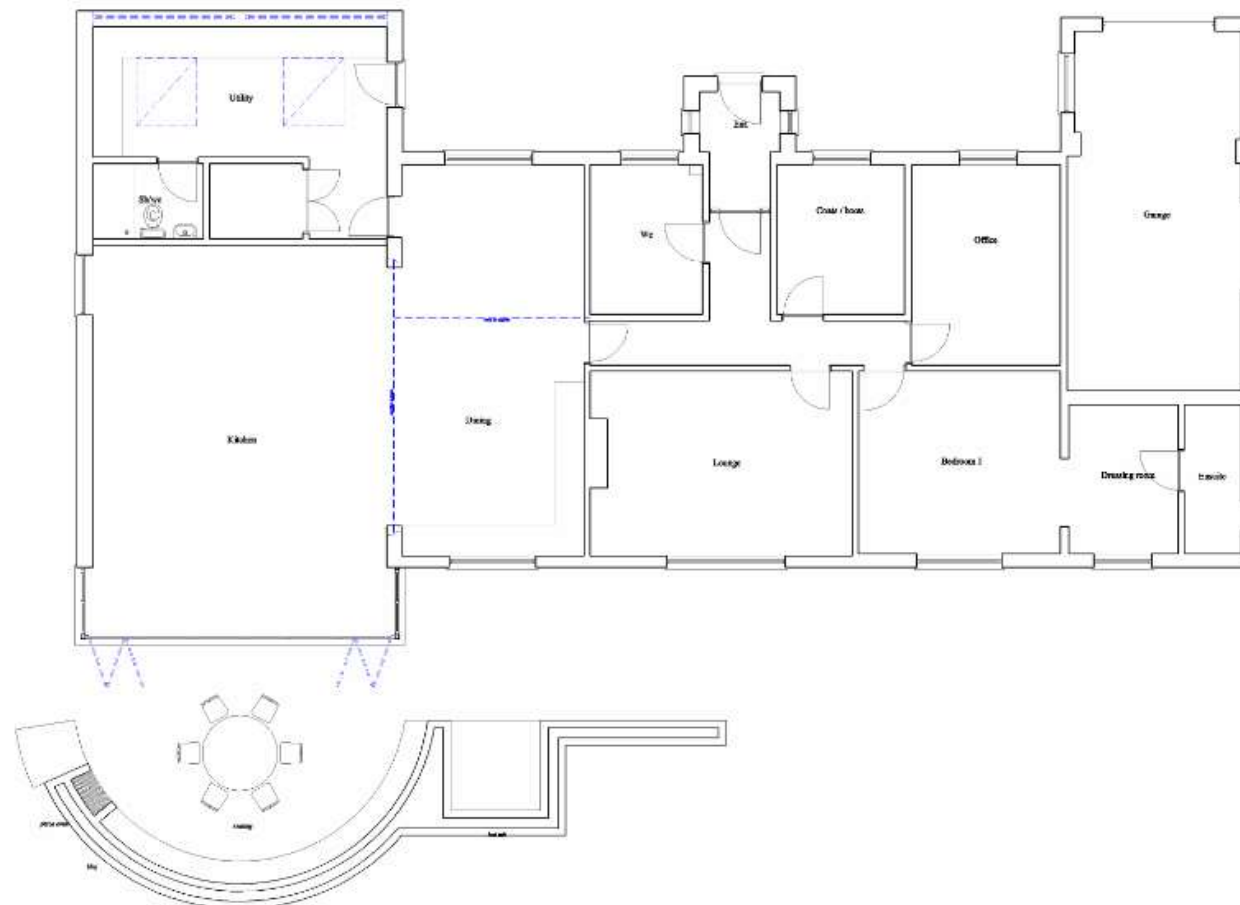
SOUTH



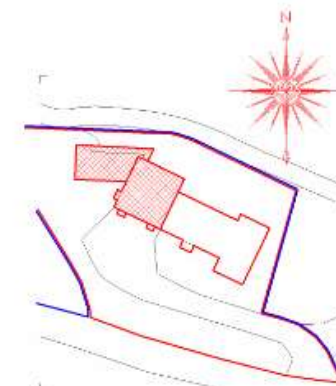
EAST



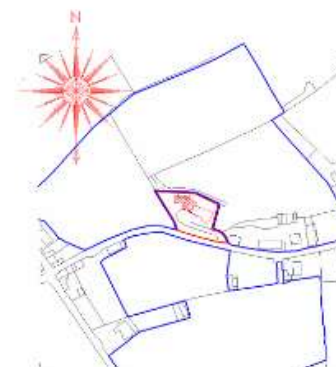
NORTH



FLOOR PLAN



BLOCK PLAN (1:500)
Ordnance Survey licence number 100012866



LOCATION PLAN (1:2500)
Ordnance Survey licence number 100012866
MR. AND MRS HODGE
LONGLANDS BUNGALOW
SALTASH
PL12 4QQ

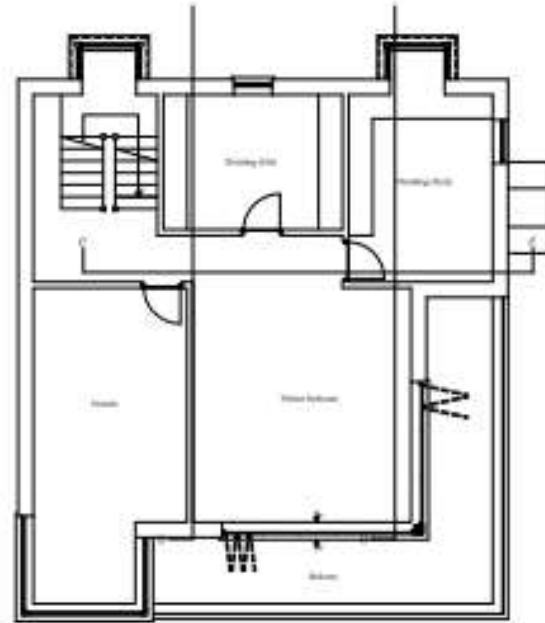
PROPOSED EXTENSION

EXISTING



Scale: 1:50 1:100
Date: MAY 20
Drawing No: 3670/7
Client: MR. AND MRS HODGE
Project: LONGLANDS BUNGALOW
Site: SALTASH, PL12 4QQ
Drawing: FLOOR PLAN
Scale: 1:50 1:100
Date: MAY 20
Drawing No: 3670/7
Client: MR. AND MRS HODGE
Project: LONGLANDS BUNGALOW
Site: SALTASH, PL12 4QQ
Drawing: FLOOR PLAN

**PA21/00980
Proposed
First Floor
Plan & East &
North
Elevations**



FIRST FLOOR

MR. AND MRS HODGE
LONGLANDS HUNGALOW
SALTASH
PL12 4QQ

PROPOSED EXTENSION

PROPOSED



1. **NAME** _____
 2. **ADDRESS** _____
 3. **CITY** _____
 4. **STATE** _____
 5. **ZIP** _____
 6. **PHONE** _____
 7. **E-MAIL** _____
 8. **DATE** _____
 9. **SIGNATURE** _____
 10. **PRINTED NAME** _____
 11. **DATE** _____
 12. **SIGNATURE** _____
 13. **PRINTED NAME** _____
 14. **DATE** _____
 15. **SIGNATURE** _____
 16. **PRINTED NAME** _____
 17. **DATE** _____
 18. **SIGNATURE** _____
 19. **PRINTED NAME** _____
 20. **DATE** _____

$\frac{1}{2}$	1.50	1.100
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MAY 20

3670/LD

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1000 • J. Neurosci., September 24, 2008 • 28(39):1000–1005

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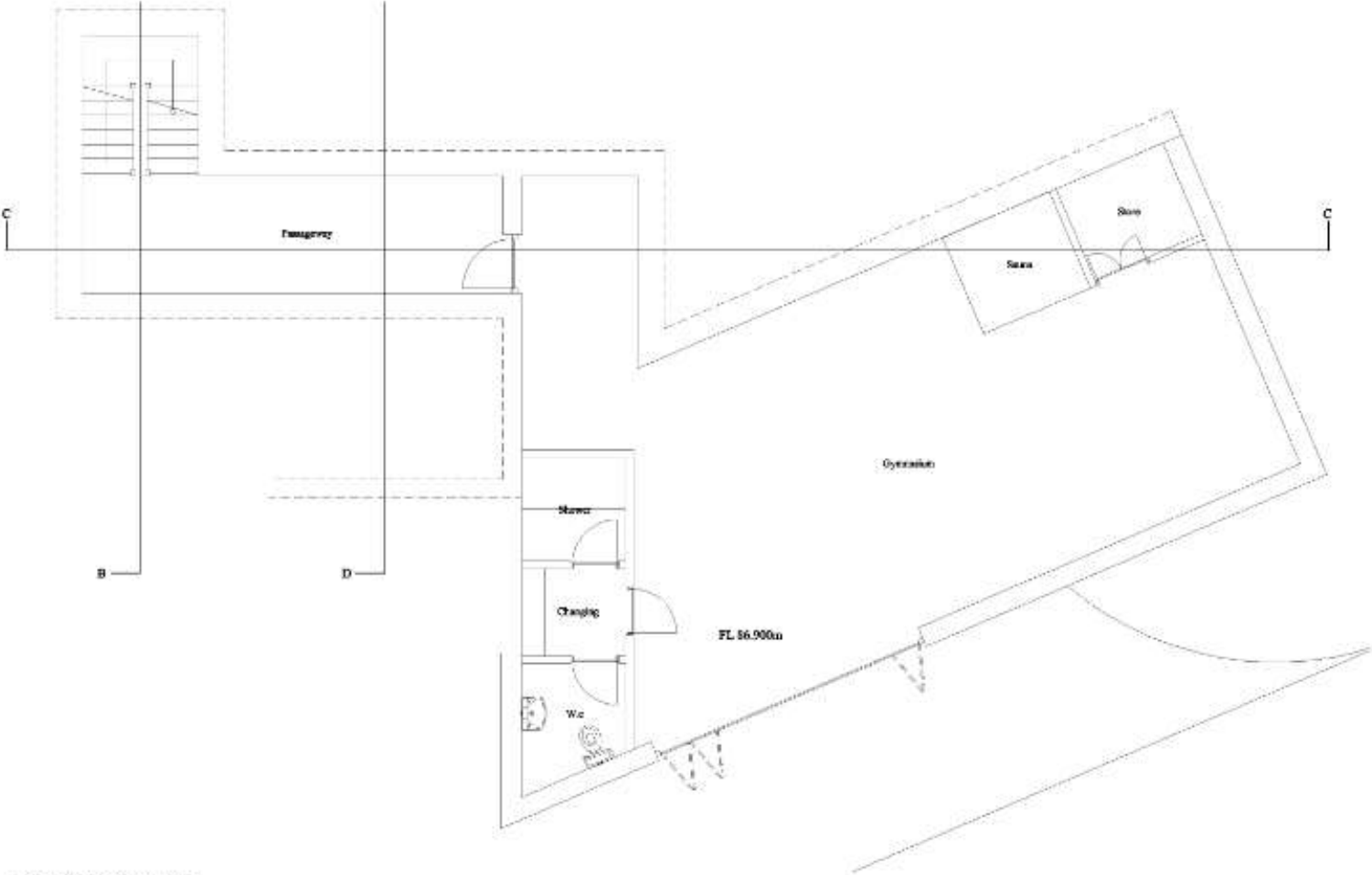
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Journal of Internal Medicine 260: 399–406

GROUND FLOOR

PA21/00980

Proposed Floor

Basement Plan



BASEMENT PLAN

B 19th January 2021 - drawing amended
A 2nd July 2020 - drawing amended

CLIENT MR. AND MRS HODGE
LONGLANDS BUNGALOW
SALTASH
PL12 4QQ

PROPOSED EXTENSION

PROPOSED



THE OLD CHURCH
CHURCH ROAD
BROOKLYN
LONDON
E1 1AA
020 7461 2000
A. N. L. L.
ARCHITECTURAL DESIGN
020 7461 2000

SCALE
1:50

MAY 20

3670/9B

Drawings must be checked by the client. Only signed drawings are to be used. All
drawings must be checked by the client. Only signed drawings are to be used. All
drawings must be checked by the client. Only signed drawings are to be used. All



Planning Applications

8d

PA20/11518 – Coombe Barn Babis Lane St Stephens

Proposal to fell T1 and T2.

Response Date: Extension to 19.03.21.

5. Identification of Tree(s) and Description of Works

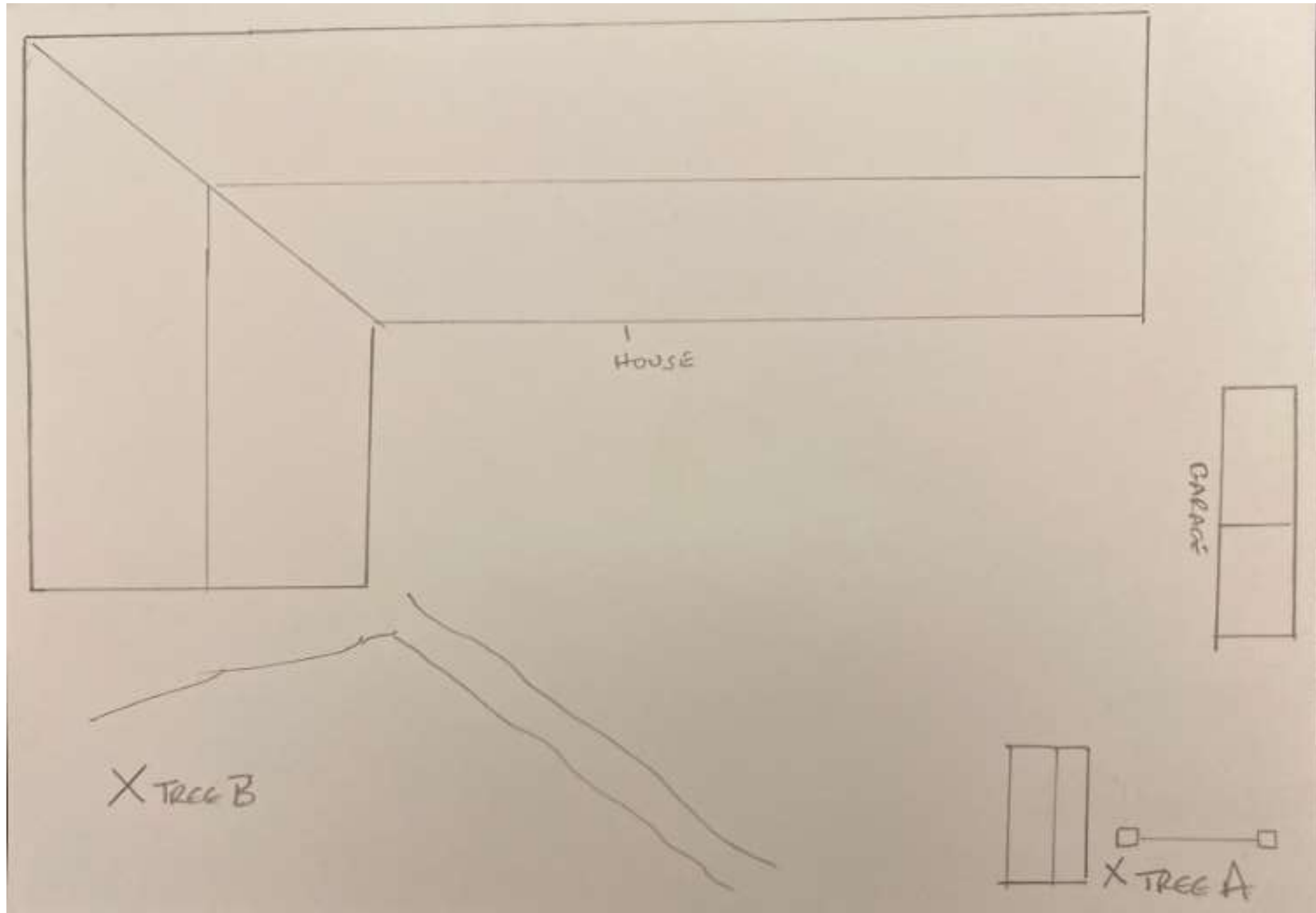
Where trees are protected by a Tree Preservation Order you must also provide:

- Reasons for the work; and where trees are being felled
- Proposals for planting replacement trees (including quantity, species, position and size) or reasons for not wanting to replant.

e.g. Oak (T3) - fell because of excessive shading and low amenity value. Replant with one standard ash in same position.

ASH T1 By the front left hand gate. fell because of rot at base and ash dieback
Ash T2 by the house fell because of crack in limb and ash dieback
both trees have been looked at by council tree officer and have had his agreement

PA20/11518
Sketch Plan



Planning Applications

8d

PA21/01008 – 14 Ashton Way Saltash PL12 6JE

Proposed crown lift and reduction T1. And proposal to fell T2.

Response Date: Extension to 19.03.21.

PA21/01008
Excerpt from
Application Form

5. Identification of Tree(s) and Description of Works

Please identify the tree(s) and provide a full and clear specification of the works you want to carry out.

You might find it useful to contact an arborist (tree surgeon) for help with defining appropriate work.

Where trees are protected by a Tree Preservation Order, please number them as shown in the First Schedule to the Tree Preservation Order where this is available. You should use the same numbering on your sketch plan (see help for sketch plan requirements).

Please provide the following information:

- Tree species
- The number used on the sketch plan); and
- A description of the proposed works.

Where trees are protected by a Tree Preservation Order you must also provide:

- Reasons for the work; and where trees are being felled
- Proposals for planting replacement trees (including quantity, species, position and size) or reasons for not wanting to replant.

e.g. Oak (T3) - fell because of excessive shading and low amenity value. Replant with one standard ash in same position.

various works

PA21/01008 - Photo showing planned works



PA21/01008

Work Specification

Version No:	1	Document ref:	EM-106-FOR1	Date:	13/09/19
Owner:	Lisa Samworth	Control Status:	Uncontrolled When Printed	Status:	Issued



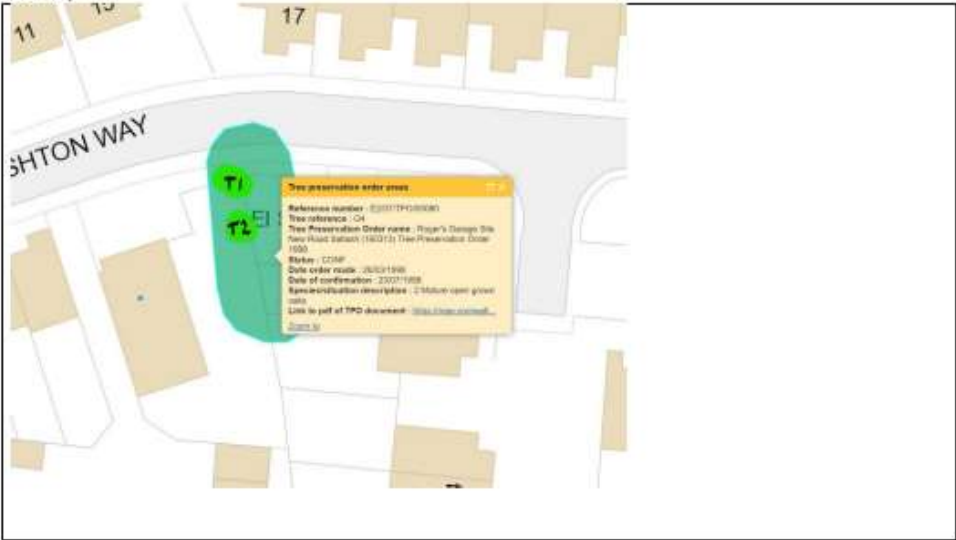
Work specification

Case: 7183
Application Type:
Client: Mark Redfern
Tree location: 14 Ashton Way
Post Code: PL12 6SE

Work Specification:

T1 Oak: Crown lift and reduction by 2-2.5 m and then again to 5.2m over the road and sever the ivy.
T2: To be felled due to being twin stemmed with lots of load bearing weight, if it were to fail then it would strike the houses either side. It is suppressed by T1 which is why it is growing that way.

Site Map



Photos.

Not included