



Saltash Town Council

Meeting of Saltash Town Council

Thursday 1st April 2021

Town Councillors:

Saltash North:

S Gillies

J Peggs

W Phillips

B Samuels

Saltash South:

M Fox – Vice Chairman

S Lennox-Boyd

S Martin

A Pinckney

Saltash East:

R Bickford

Vacancy

J Rance

P Samuels

Saltash West:

G Challen

J Dent - Chairman

S Miller

D Yates

PA21/01757 – Land at Broadmoor Farm Stoketon

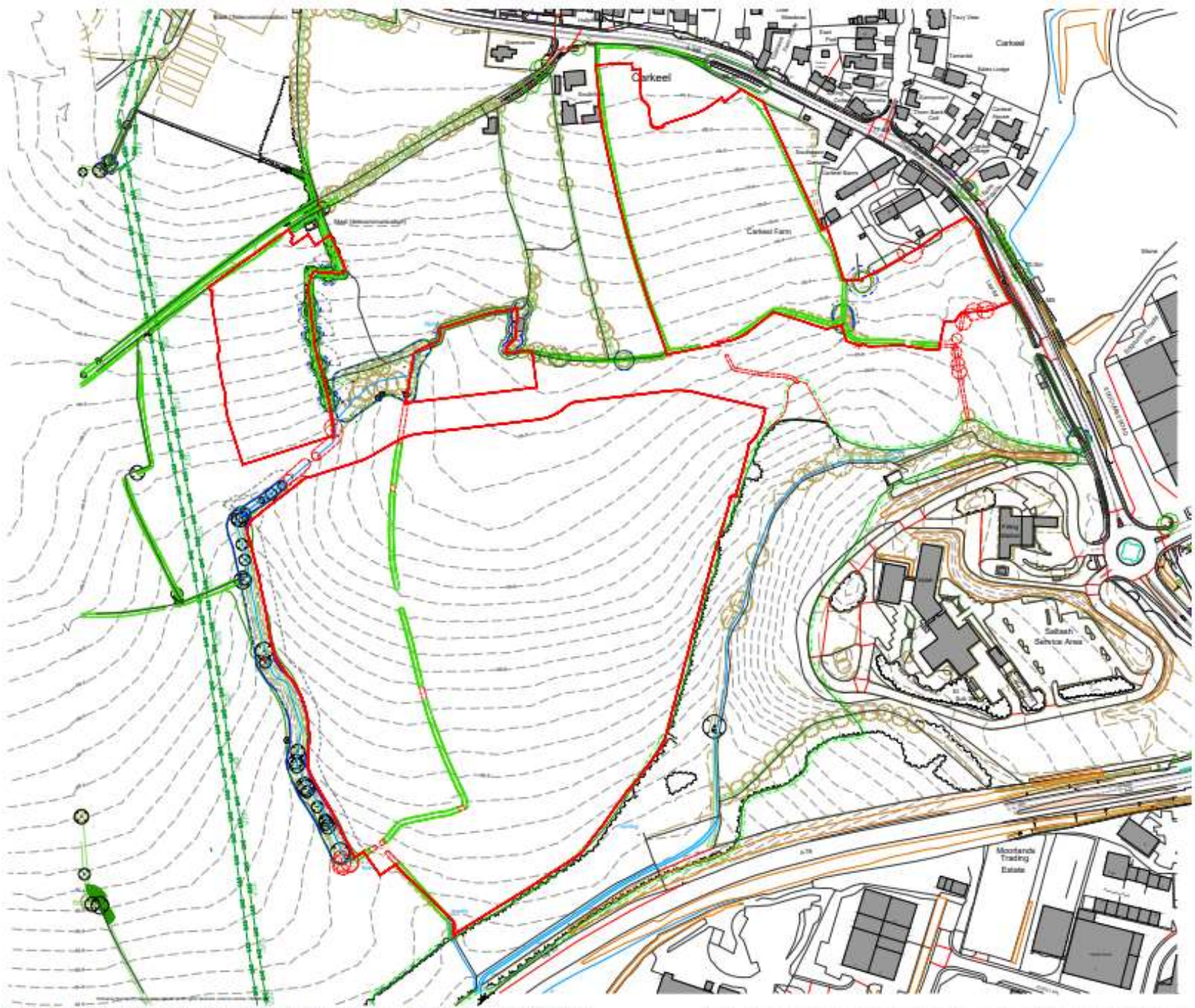
Reserved matters application for Phase 1, which comprises: the construction of 387 dwellings, public open space, landscape planting, pedestrian, cycle and vehicular links, 1 substation and one governor and associated infrastructure. (Details following outline application PA14/02447 dated 13.10.2017) Resubmission of application no. PA19/08297 dated 09/04/20.

Response Date: 09.04.21.

- **Public Objections: 16**
- **Public Comments: 1**

- **Consultee Objections: 7 (including Tree Officer's Report)**
- **Consultee Support: 1**

PA21/01757 Site Location Plan



KEY
 Site Boundary



BARRATT
DAVID WILSON HOMES
 WHERE QUALITY LIVES

Project
**Treledan,
 Saltash**
 Drawing Title
Site Location Plan

| | | | |
|---------------------|-------------------------|------------------|----------------|
| Date 10.12.20 | Scale 1:2500 @ A3 | Drawn by CB | Check by JK |
| Project No 26865 | Drawing No TRE-PL-01 | Revision No - | Revision - |

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 Town Planning • Master Planning & Urban Design • Architecture •
 Landscape Planning & Design • Infrastructure & Environmental Planning •
 Heritage • Graphic Communication •
 Communications & Engagement • Development Economics
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PA21/01757
Planning
Layout
Sheet
Phase 1
2/3



Do not scale for construction purposes

| Revision | Date | By | Iss |
|----------|----------|----|-----|
| A | 26.08.20 | JT | 01 |
| B | 26.08.20 | JT | 02 |
| C | 26.08.20 | JT | 03 |
| D | 26.08.14 | JT | 04 |
| E | 26.08.20 | JT | 05 |
| F | 26.10.20 | JT | 06 |
| G | 26.11.21 | JT | 07 |

KEY

- Red line: Boundary
- Blue line: Boundary to be removed
- Green line: Boundary to be added
- Yellow line: Boundary to be altered
- Black line: Boundary to be removed
- Blue dot: Planning Condition
- Orange dot: Engineering Condition
- Blue square: Planning Condition
- Orange square: Engineering Condition
- Blue circle: Planning Condition
- Orange circle: Engineering Condition
- Blue triangle: Planning Condition
- Orange triangle: Engineering Condition
- Blue diamond: Planning Condition
- Orange diamond: Engineering Condition
- Blue star: Planning Condition
- Orange star: Engineering Condition
- Blue cross: Planning Condition
- Orange cross: Engineering Condition
- Blue asterisk: Planning Condition
- Orange asterisk: Engineering Condition
- Blue hash: Planning Condition
- Orange hash: Engineering Condition
- Blue percent: Planning Condition
- Orange percent: Engineering Condition
- Blue ampersand: Planning Condition
- Orange ampersand: Engineering Condition
- Blue at: Planning Condition
- Orange at: Engineering Condition
- Blue double hash: Planning Condition
- Orange double hash: Engineering Condition
- Blue double percent: Planning Condition
- Orange double percent: Engineering Condition
- Blue double ampersand: Planning Condition
- Orange double ampersand: Engineering Condition
- Blue double at: Planning Condition
- Orange double at: Engineering Condition

BARRATT

DAVID WILSON HOMES

Treedan, Phase 1
Saltash, Cornwall

Planning Layout
 Sheet 2 of 3

Date: 26.11.21
 Scale: 1:200
 Project No: 2685

Drawn by: JT
 Checked by: JT
 Date: 26.11.21

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Site Planning • Public Works • Urban Design • Landscape Architecture • Environmental Planning • Construction Management • Archaeology • Heritage • Planning • Engineering • Surveying • Quantity Surveying • Environmental Impact Assessment • Sustainability • Energy • Water • Air Quality • Noise • Vibration • Flood Risk • Transport • Traffic • Highways • Drainage • Flood Defence • Flood Risk Assessment • Flood Risk Management • Flood Risk Reduction • Flood Risk Mitigation • Flood Risk Avoidance • Flood Risk Prevention • Flood Risk Control • Flood Risk Reduction • Flood Risk Mitigation • Flood Risk Avoidance • Flood Risk Prevention • Flood Risk Control

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PA21/01757
Planning
Layout
Sheet
Phase 1
3/3



Do not use for construction purposes

| Revision | Date | By | Out |
|----------|----------|----|-----|
| A | 20.08.20 | ST | CD |
| B | 20.08.20 | ST | CD |
| C | 20.08.20 | ST | CD |
| D | 20.08.20 | ST | CD |
| E | 20.08.20 | ST | CD |
| F | 20.08.20 | ST | CD |
| G | 20.08.20 | ST | CD |

- KEY**
- Red line: Boundary
 - Blue line: Watercourse
 - Green line: Landscaping
 - Orange dot: Proposed unit
 - Blue dot: Proposed unit
 - Black dot: Existing unit
 - Grey area: Existing building
 - White area: Proposed building
 - Red area: Proposed parking
 - Green area: Proposed landscaping
 - Blue area: Proposed water feature



Project:
Treledan, Phase 1
 Location:
Salzath, Cornwall
 Drawing Title:
Planning Layout
 Sheet 3 of 3

Date:
 20.08.20
 Scale:
 1:500
 Drawing No:
 26653
 TRD-PL-01.3

Drawn by:
 ST
 Checked by:
 CD



PA21/01757 Barratt Street Scene



STREET ELEVATION AA



STREET ELEVATION BB



STREET ELEVATION CC



STREET ELEVATION DD



KEY PLAN



Project:
**Trelecan
 Saltash**
 Drawing Title:
Street Scene Elevations

| | | | |
|-------------|--------------|-----------|-----------|
| Date: | Scale: | Drawn by: | Check by: |
| 02.10.20 | 1:200 (Site) | CB | JT |
| Project No: | Drawing No: | Revision: | |
| 28893 | TRE-05-02 | A | |



PA21/01757 DWH Street Scene

The status of this drawing cannot be assured
 Approved: 02/01/21 Date: 02/01/21 Drawn by: CR
 A (02/01/21) to: David Wilson Homes Ltd. Title: DWH Street Scene Elevations



STREET ELEVATION AA



STREET ELEVATION BB



STREET ELEVATION CC



STREET ELEVATION DD



KEY PLAN



Project:
Trefedan
Saltash
Drawing Title:
Street Scene Elevations

| | | | | | | | |
|--------------|----------|--------------|------------|-----------|----|-----------|----|
| Date: | 11/09/20 | Scale: | 1:500 (A3) | Drawn by: | CR | Check by: | IT |
| Project No.: | 20803 | Drawing No.: | TRE 55 01 | Revision: | A | | |

BARTON WILLMORE

Architectural, Planning, and Building Services
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I am satisfied that the Arboricultural constraints associated with existing trees have been appropriately mitigated and would have no objections provided that the implementation of the Tree Protection Plan (TPP) and Arboricultural Method Statement (AMS) are secured by condition.

However, the forestry team is unable to support proposals until the following matters have been resolved. It is preferred that these matters cannot be secured by condition due to their potential to impact upon the site layout.

Soft/hard landscaping

Current proposals do not offer sufficient provision for tree planting this is particularly significant upon the street running north east to south west.

For the forestry team to support proposals soft and hard landscaping plans will need to be submitted for approval by the local authority demonstrating generous provision of space for street tree provision throughout the development.

Specified planting must also consider other constraints on site such as utility easements and constraints associated with trees at maturity.

Landscaping proposals must include:

1. Suitable species selected with consideration of the environment and any potential constraints. A useful document is the free online guide provided by the Trees And Design Action Group. Plans must include provision of large canopy species.
2. A tree pit design plan specified to achieve at least the minimum recommended soil volumes for chosen species, pits should be linked and incorporate sustainable drainage systems (SuDs)
3. Street side pits shall include permanent aesthetic protection that prevents damage to trees and rooting environments.
4. Specifications for hedgerow planting proposals.
5. Maintenance and aftercare commitments, this shall include commitment to replace all failed, damaged or dysfunctional trees.

Utility Service Plans

To ensure that services are located outside of RPA's and that tree planting commitments set out within landscaping plans are deliverable service plans shall be provided and overlaid onto both the TPP and Landscaping plans.

ADB management plan

The Principle Arboricultural Consultant has identified large quantities of ash within woodland groups 3 and 28. The wooded nature of these groups is significant to the character of the site, additionally there are numerous ash located elsewhere on site.

To ensure continued canopy cover within the surrounding woodland areas an ash dieback management plan shall be submitted detailing and committing to a monitoring, removal and restocking plan.

Steven Harding
Forestry and Tree Officer

Planning Applications

8d

Tree Applications:

Planning Applications

8d

PA21/01008 – 14 Ashton Way Saltash PL12 6JE

Proposed crown lift and reduction T1. And proposal to fell T2.

Response Date: Extension to 06.03.21.

- **Public Comments: 0**
- **Consultee Comments: 1 (Tree Officer as shown below)**

PA21/01008 – Email from Planning Officer

Dated 29.03.21.

Please find attached the final comments from the tree officer which have been agreed by the applicant.

If you could submit your comments as soon as possible please we can address any issues.

Many thanks

PA21/01008 - Tree Officer's Comments

Tree Officer

Comment Date: Mon 29 Mar 2021

Works to T1 shall be limited by condition to:

- o A crown lift over the carriageway with a reduction in radial as depicted by the red line in the photo below.
- o A crown lift upon the remaining tree to a height of 2.5m from ground level with no pruning cuts exceeding 40mm (this is depicted by the orange line in the photo below).
- o Removal of x 3 low branches extending over the footway (depicted by the orange lines below)

In addition T2 is a suppressed tree of limited value, furthermore it is likely given its form that this tree will become a problem in future therefore it's removal would be supported.

All pruning works shall be completed in accordance with BS3998 2010 Tree Works Recommendations.

PA21/01008 – Photo as included in Tree Officer’s Comments - Acceptable Works



Approximate height of crown lift and slight radial spread reduction

Branches to be pruned back to main scaffold unions

PA21/01008
Photo 1 of
proposed
5.2m crown
lift.



PA21/01008
Photo 2 of
proposed
5.2m crown
lift.



PA21/01008
Photo 3 of
proposed
5.2m crown
lift.

